

Mono Constructions, Residential Apartment Building (x28)  
24-28 Viccliffe Avenue, Campsie, NSW  
Revised DA Issue - 11<sup>th</sup> Dec, 2019

Architectural Drawing Schedule			Civil Drawing Schedule		
2370.18	DA01	Cover Sheet	181016	C01	Notes & Legends
2370.18	DA02	Perspective Images	181016	C02	Ground Floor Drainage Plan
2370.18	DA03	Site Analysis	181016	C03	Basement 1 Drainage Plan
2370.18	DA04	Site & External Works Plan	181016	C04	Site Stormwater Details Sheet
2370.18	DA04B	Proposed Roof Plan over Survey Plan	181016	ESM1	Notes & Legends
2370.18	DA05	Basement Car Park Plan	181016	ESM2	Environmental Site Management layout
2370.18	DA06	Floor Plan - Level 1	Landscape Drawing Schedule		
2370.18	DA07	Floor Plan - Level 2-3 (Typical)			
2370.18	DA08	Floor Plan - Level 4	2370.18	L01	Landscape Plan
2370.18	DA09	Roof Plan	Survey Drawing Schedule		
2370.18	DA10	Elevations (Sht 1 of 2)			
2370.18	DA11	Elevations (Sht 2 of 2)	1 of 2		Detail & Level Survey
2370.18	DA11B	Building Wall Height Diagram (Sht 1 of 2)	2 of 2		Detail & Level Survey
2370.18	DA11C	Building Wall Height Diagram (Sht 2 of 2)			
2370.18	DA12	Sections (Sht 1 of 2)			
2370.18	DA13	Sections (Sht 2 of 2)			
2370.18	DA13B	Sections (over POS)			
2370.18	DA14	GFA Diagrams			
2370.18	DA15	Development Calculations			
2370.18	DA16	Cross Ventilation Diagrams			
2370.18	DA17	Shadow Diagrams (Sht 1 of 3)			
2370.18	DA18	Shadow Diagrams (Sht 2 of 3)			
2370.18	DA19	Shadow Diagrams (Sht3 of 3)			
2370.18	DA20	Shadow Analysis (view from sun 1/3)			
2370.18	DA21	Shadow Analysis (view from sun 2/3)			
2370.18	DA22	Shadow Analysis (view from sun 3/3)			
2370.18	DA23	Shadow Impacts (No. 30 Viccliffe Street)			
2370.18	DA24	DCP Height Plane			
2370.18	DA25	External Colour Selections			



NATHERS Thermal Performance Specification			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	Wall + Foilboard = R1.8	Dark - SA > 0.7	Throughout
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Comments	
Plaster board on Stud	None	Internally in units	
Cavity Brick	None	Party walls	
Cavity Brick	Wall + Foilboard = R1.8	Shared walls with lobby/stairs/lift	
Floors			
Floor Type	Insulation	Comments	
Concrete	R1.4	All units with suspended slab over carpark	
Concrete	R1.0	Suspended floor over air	
Concrete	None	All units with adjoining unit below	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	None	Floor above	
Plasterboard	R3.0	Roof Above	
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom and laundry.			
Roof			
Roof Type	Insulation	Colour	Comments
Concrete	None	Light - SA < 0.475	Throughout
SA - Solar Absorptance			
Glazing			
Glazing & Frame Type	U-Value	SHGC	Comments
Single Clear Aluminium	6.7	0.57	Awning windows for units 103, 104, 105, 204, 205 and 303
Single Clear Aluminium	6.7	0.7	Fixed and sliding windows for units 103, 104, 105, 204, 205 and 303
Double Clear Low-E Aluminium	4.3	0.47	Awning windows for units 101, 107, 203, 207, 304 and 305
Double Clear Low-E Aluminium	4.3	0.53	Fixed and sliding windows for units 101, 107, 203, 207, 304 and 305
Double Clear Low-E Thermally Broken Aluminium	3.1	0.39	Awning windows for units 102, 106, 201, 206, 301, 302, 306, 307, 401, 402 and 406
Double Clear Low-E Thermally Broken Aluminium	3.1	0.49	Fixed and sliding windows for units 102, 106, 201, 206, 301, 302, 306, 307, 401, 402 and 406
Double Tinted Low-E Thermally Broken Aluminium	3.1	0.27	Awning windows for units 202, 403, 404, 405 and 407
Double Tinted Low-E Thermally Broken Aluminium	3.1	0.27	Fixed and sliding windows for units 202, 403, 404, 405 and 407
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ≤ 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
Clear Double Glazed	Aluminium	na	



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Mono Constructions  
Residential Apartment Building (x28)  
24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn; jok/mc/ck  
Checked; jok  
Plot date; 12/12/19

Scale; 1:1 as noted @ A1

Project No;  
2370.18

Drawing No; DA01  
Revision#; 11

Cover Sheet



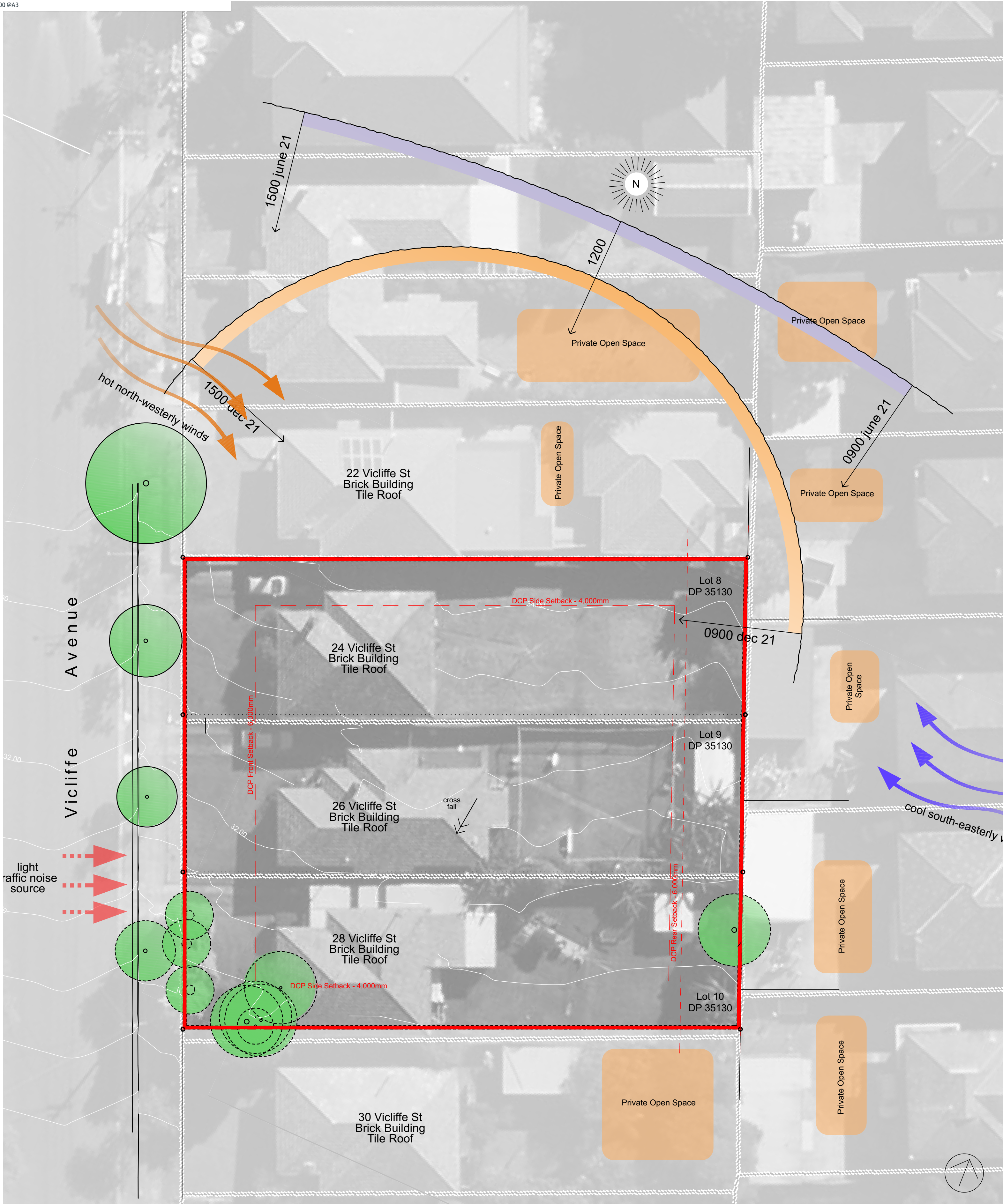
Perspective Images



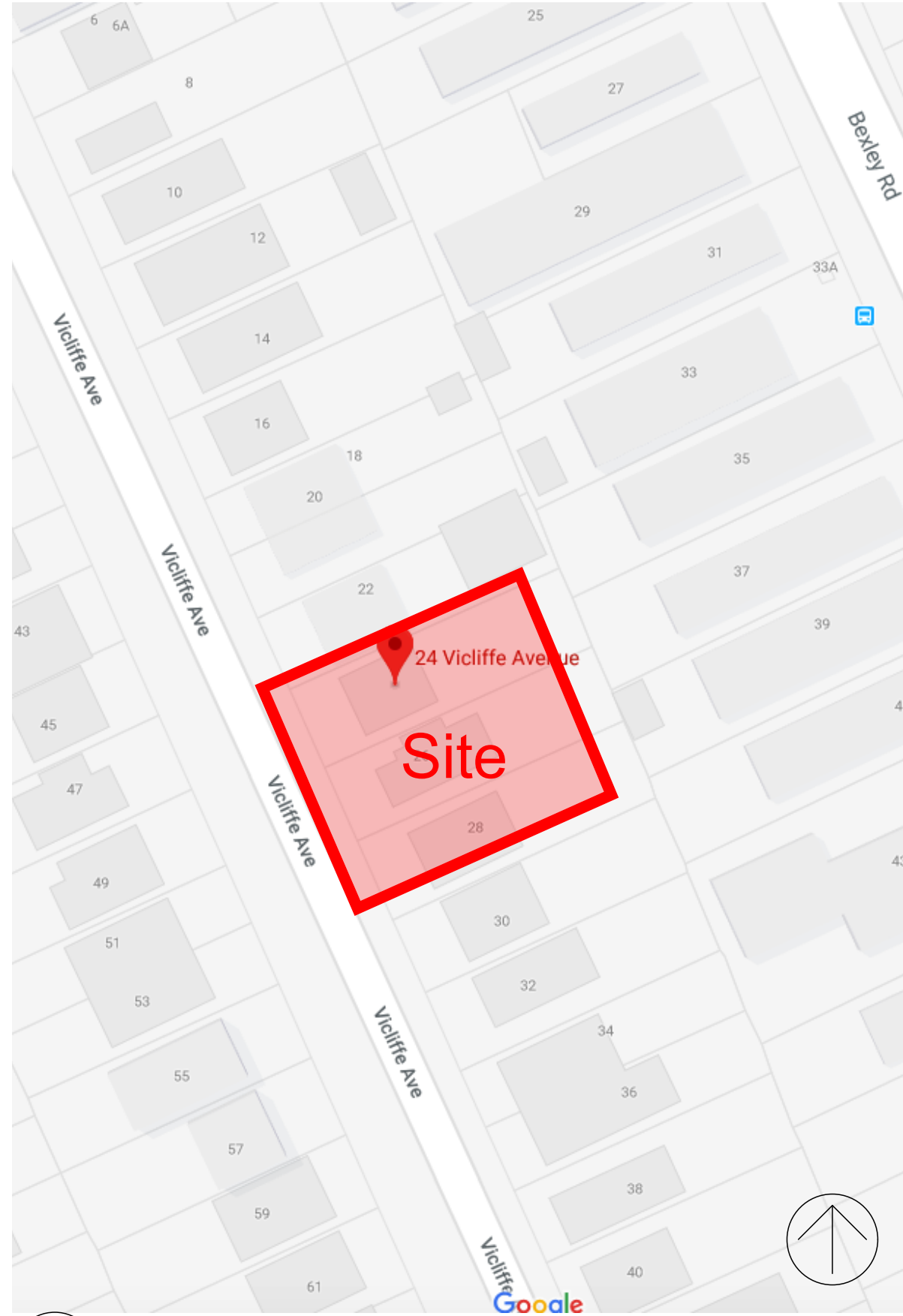
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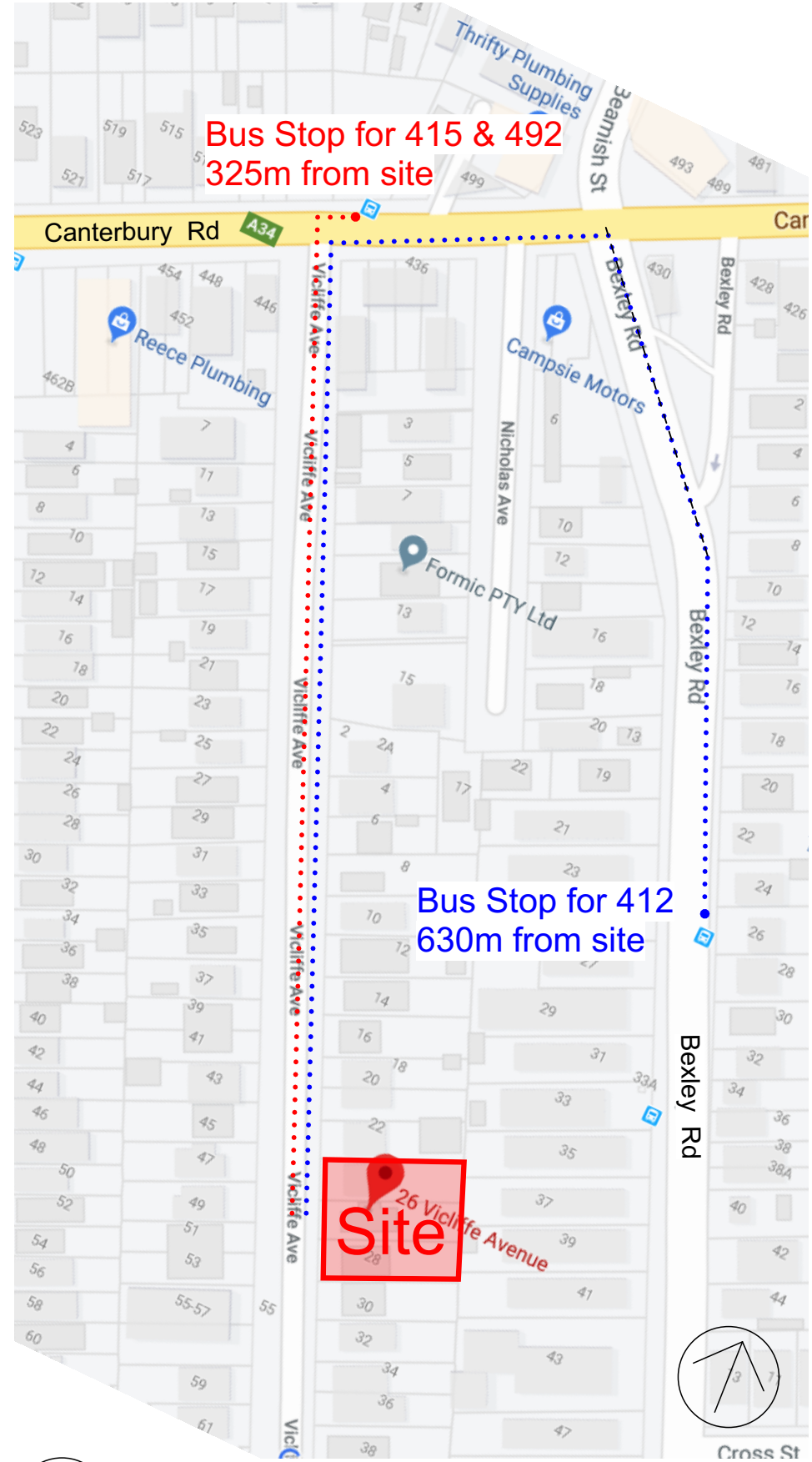
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0 2000 4000 6000 8000 10 000 20 000  
scale: 1:200 @A3



1 Site Analysis  
1:200



2 Location Diagram  
not to scale



3 Distance from Site to Bus Stops  
not to scale



4 View towards 39-47 Vicliffe Avenue



5 View towards 49-51 Vicliffe Avenue

- Legend site analysis  
note: drawing may not contain all items listed below
- existing trees to be retained
  - existing trees to be removed
  - boundary line
  - Campsie Town Centre - 1km
  - Clemon Park Shopping Centre - 1km
  - Bexley Rd Bus Stop - 120m

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Residential Apartment Building (x28)

24-28 Vicliffe Avenue,  
Campsie, NSW

Drawn: jok/mc/ck/ef  
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Plot date: 12/12/19

Scale: 1:200 as noted @ A1

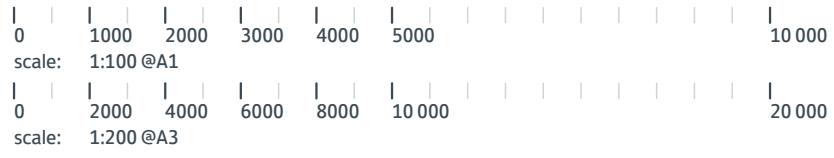
Project No:  
2370.18

Drawing No:  
DA03

Revision#:  
10

Site Analysis





DEVELOPMENT DATA				
ADDRESS	24-28 Vicliffe Ave, Campsie			
SITE AREA	1,817m2			
NUMBER OF EXISTING LOTS	Lots 8, 9 & 10 DP:35130			
FSR* 0.5 bonus	Max. FSR 1.4:1 (2,543.8m2)			
FSR	Proposed FSR 1.159:/1 (2,106.82m2)			
GFA*	Level 1	515.17	m2	
	Level 2	537.9	m2	
	Level 3	537.9	m2	
	Level 4	515.85	m2	
	TOTAL	2,106.82	m2	
*GFA measured to inner face of external enclosing wall, excluding lifts, stairs, services & voids.				
Total Build Area*	Basement	720.9	m2	
	Level 1	594.11	m2	
	Level 2	613.49	m2	
	Level 3	613.49	m2	
	Level 4	590.22	m2	
TOTAL	3,132.21	m2		
*Total Build Area measured to outer face of external enclosing wall, including lifts, stairs, services & voids.				
YIELD (50/50)	Bedroom No.	TOTAL		
	1 Bed Unit	14		
	2 Bed Unit	14		
	TOTAL	28		
NUMBER OF DWELLINGS	Proposed Residential Apartment Building (x 28 Units) + Basement Parking			
DWELLING BREAKDOWN				
DESCRIPTION	ISSUE			COMMENT
UNIT 101* / 401				
1 BED				
AREA = 57.16m2				
POS = 28.2m2 (ground), 37.53m2 (balcony)				
STORAGE = 6.69m3				
UNIT 102* / 202 / 302 / 402				
2 BED				
AREA = 74.05m2				
POS = 48.37m2 (ground), 10.33m2 (balcony)				
STORAGE = 13.95m3				
UNIT 103* / 203 / 303				
1 BED				
AREA = 51.13m2				
POS = 21.05m2 (ground), 8.69m2 (balcony)				
STORAGE = 8.62m3				
UNIT 104* / 204 / 304				
1 BED				
AREA = 51.13m2				
POS = 21.10m2 (ground), 8.59m2 (balcony)				
STORAGE = 8.62m3				
UNIT 105* / 205 / 305 /405**				
2 BED				
AREA = 70.07m2				
POS = 32.55m2 (ground), 10.90m2 (balcony)				
STORAGE = 10.05m3				
UNIT 106* / 206 / 306 / 406**				
1 BED				
AREA = 55.87m2				
POS = 20.74m2, 8.49m2 (bali), 9.01m2 (bali)				
STORAGE = 7.35m3				
UNIT 107* / 207 / 307 / (ADAPTABLE), 407				
2 BED				
AREA = 85.94m2 (107 only), 86.4m2				
POS = 17.68m2 (ground), 10.01m2 (balcony)				
STORAGE = 16.38m3 (107 only), 8.63m3				
UNIT 201 / 301*				
2 BED				
AREA = 79.09m2				
POS = 22.4m2				
STORAGE = 6.69m3				
UNIT 403				
1 BED				
AREA = 51.13m2				
POS = 9.26m2				
STORAGE = 8.62m3				
UNIT 404				
1 BED				
AREA = 51.13m2				
POS = 9.09m2				
STORAGE = 8.62m3				
*dwelling floor area includes internal walls but excludes external walls.				
	Control	Requirement	Proposed	
BUILDING HEIGHT	CANTERBURY DCP	11.5m	13.1m	
PARKING	ARHSEPP	14 x 1B @ 0.4 space = 5.6 14 x 2B @ 0.5 spaces = 7	13 spaces (required 12.6)	
SETBACKS	CANTERBURY DCP	Front (street) Side Rear	6m 4m 6m	6.33m 7.2m & 9.5m 6m
LANDSCAPE AREA	CANTERBURY DCP	min. 25% of site area (454m2)	795m2 (43.8% of site area)	
DEEP SOIL	ADG	min. 15% of site area (272m2)	459.41m2 (25.2% of site area)	
COMMON AREA	ADG/SEPP 65	Communal open space has a minimum area equal to 25% of the site (454m2)	454m2 (25% of site area)	
CROSS VENTILATION	ADG	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building.	20 units (71.4% of units)	
SOLAR ACCESS	ADG	Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm	20 units (71.4% of units)	

## 1 Site Plan & External Works

1:100

Legend

(external work / site plan)

note: drawing may not contain all items listed below

ex. contours & banking line  
existing trees to be retained

xx.RL00.00 → existing levels

RL00.00 → proposed levels

ac  
acc  
adhc  
ap  
bal(1)  
bfc  
boe  
bol  
cl  
col  
dp  
dnp

air conditioner condenser  
ageing, disability & home care  
access panel  
balustrade (type)  
broom finished concrete  
brick on edge  
bollard  
clothes line  
column  
downpipe  
doorpost

ex.  
fb(1)  
ft(1)  
gb  
gt  
gtd  
hr(1)  
ht  
hwu  
hyd  
kr  
lb

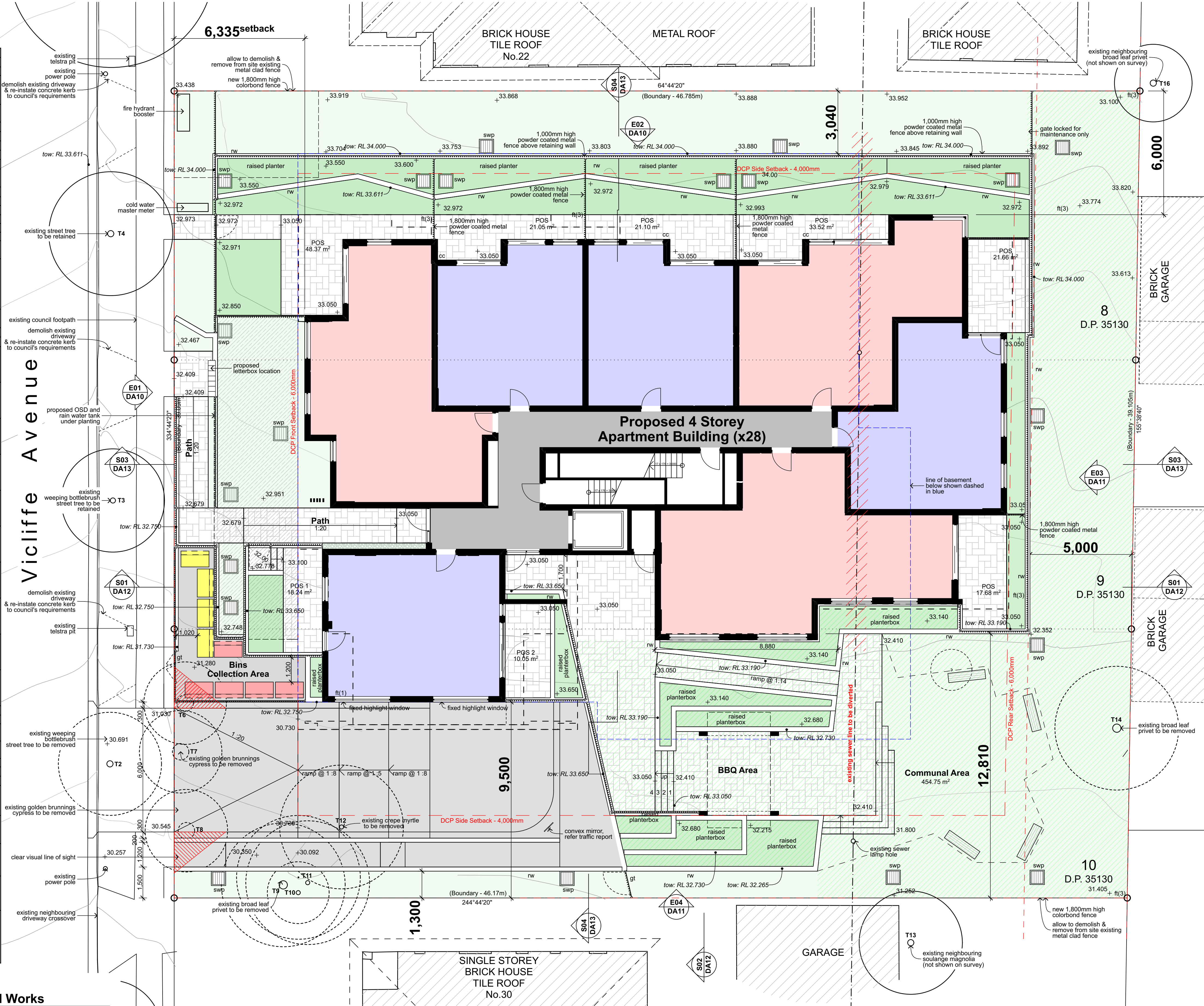
existing facebrick work (type)  
fence (type)  
garbage bin  
gate  
grated drain  
handrail (type)  
hose tap  
hot water unit  
hydrant  
kerb ramp  
letter box

ofc  
pp  
rw(1)  
sfc  
swp  
tfc  
tgsi  
tow  
wfc

off form concrete  
power pole  
retaining wall (type)  
steel float concrete  
storm water pit  
trowel finished concrete  
tactile ground surface indicator  
top of wall  
wood float concrete

Unit Typology

1 bed  
2 bed



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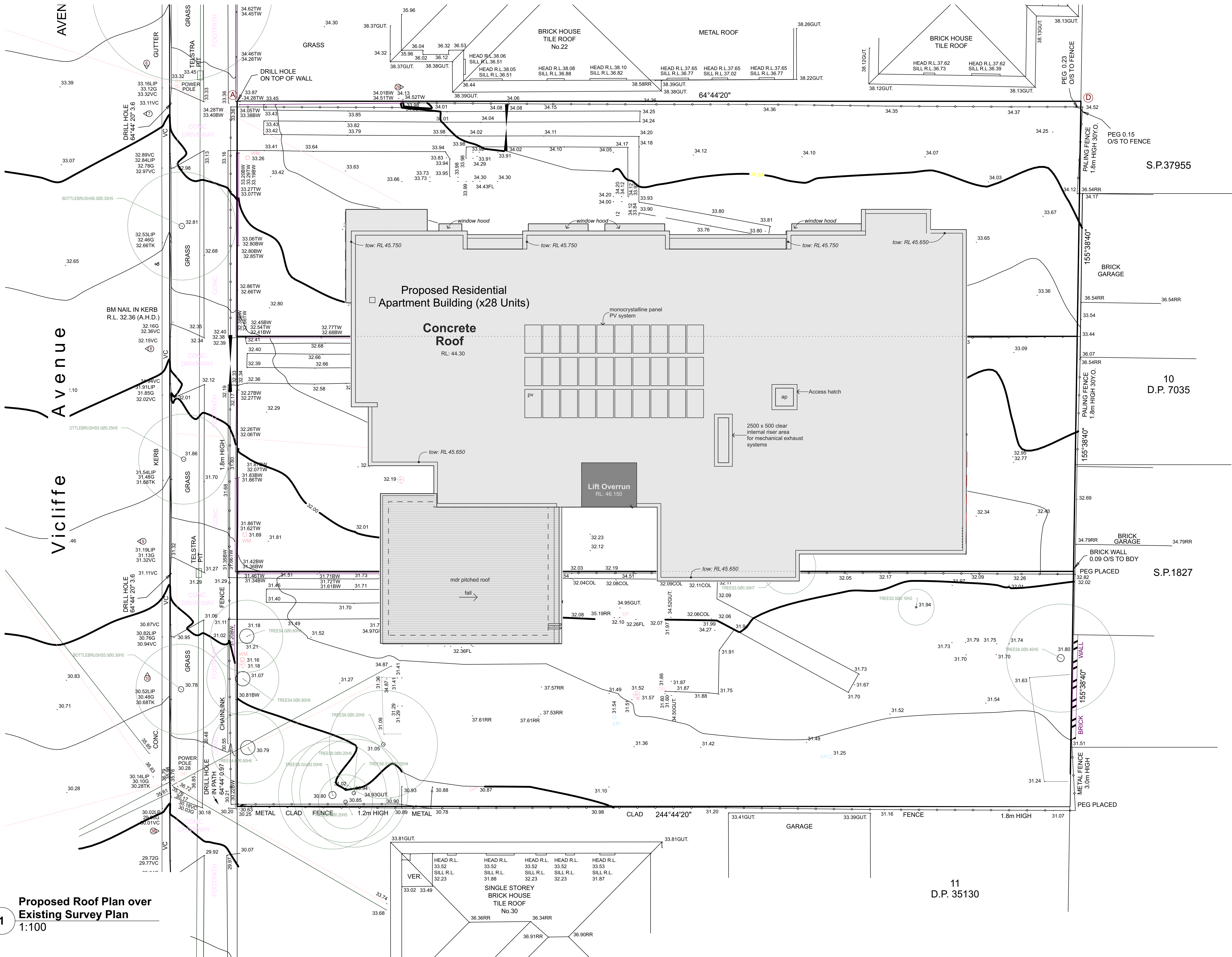
Project No;  
2370.18

Drawing No;  
DA04

Revision#;  
12

Site & External Works  
Plan

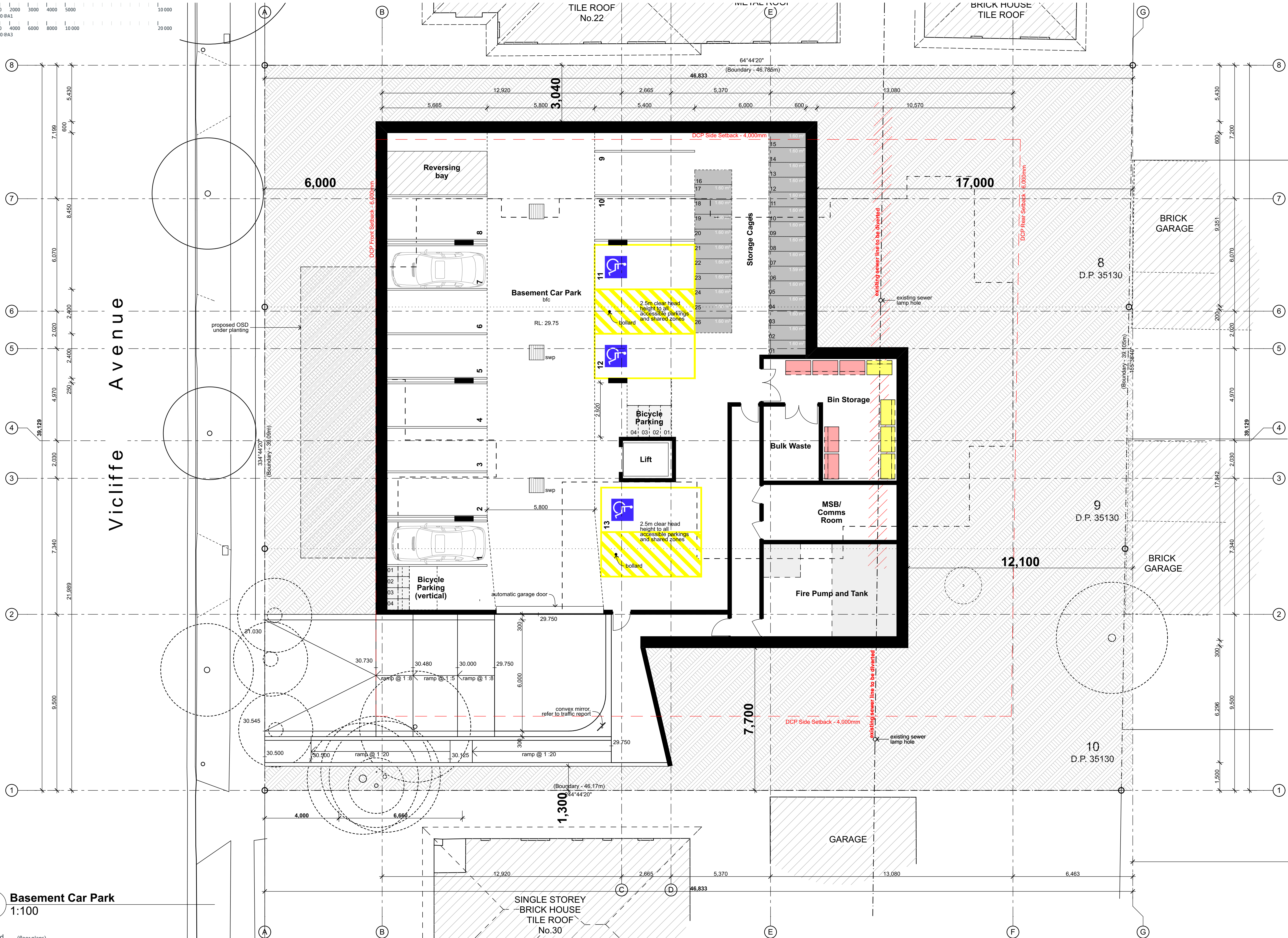




### Proposed Roof Plan over Survey Plan



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scale: 1:100 @A1  
0 2000 4000 6000 8000 10 000 20 000  
scale: 1:200 @A3



## 01 Basement Car Park 1:100

### Legend (floor plans)

note: drawing may not contain all items listed below

door numbers (as scheduled)  
(prefix ex. for existing door)

window numbers (as scheduled)  
(prefix ex. for existing window)

wall type (as scheduled)

ac air conditioner condenser  
acc accessible

adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cft(1) ceramic floor tile (type)  
cl control joint  
cl clothes line  
col column

comms cpt(1)  
ct downpipe  
dp downpipe  
drp doorpost  
edb electrical distribution box  
ex existing  
fb(1) face brickwork (type)  
fhr fire hose reel  
fm floor mat  
fs fridge space  
fw floor waste

gb garbage bin  
gt gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hyd hydrant  
kr kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave  
ofc off form concrete

p/c pty  
pty pty  
ref refrigerator  
rfm recessed floor mat  
robe wardrobe  
rw(1) retaining wall (type)  
rwt rainwater tank  
sc sink  
sfc steel float concrete  
shr shower  
sk skylight/skytube

photocopier  
pantry  
ref refrigerator  
recessed floor mat  
wardrobe  
retaining wall (type)  
rainwater tank  
sink  
steel column  
steel float concrete  
shower  
skylight/skytube

sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop

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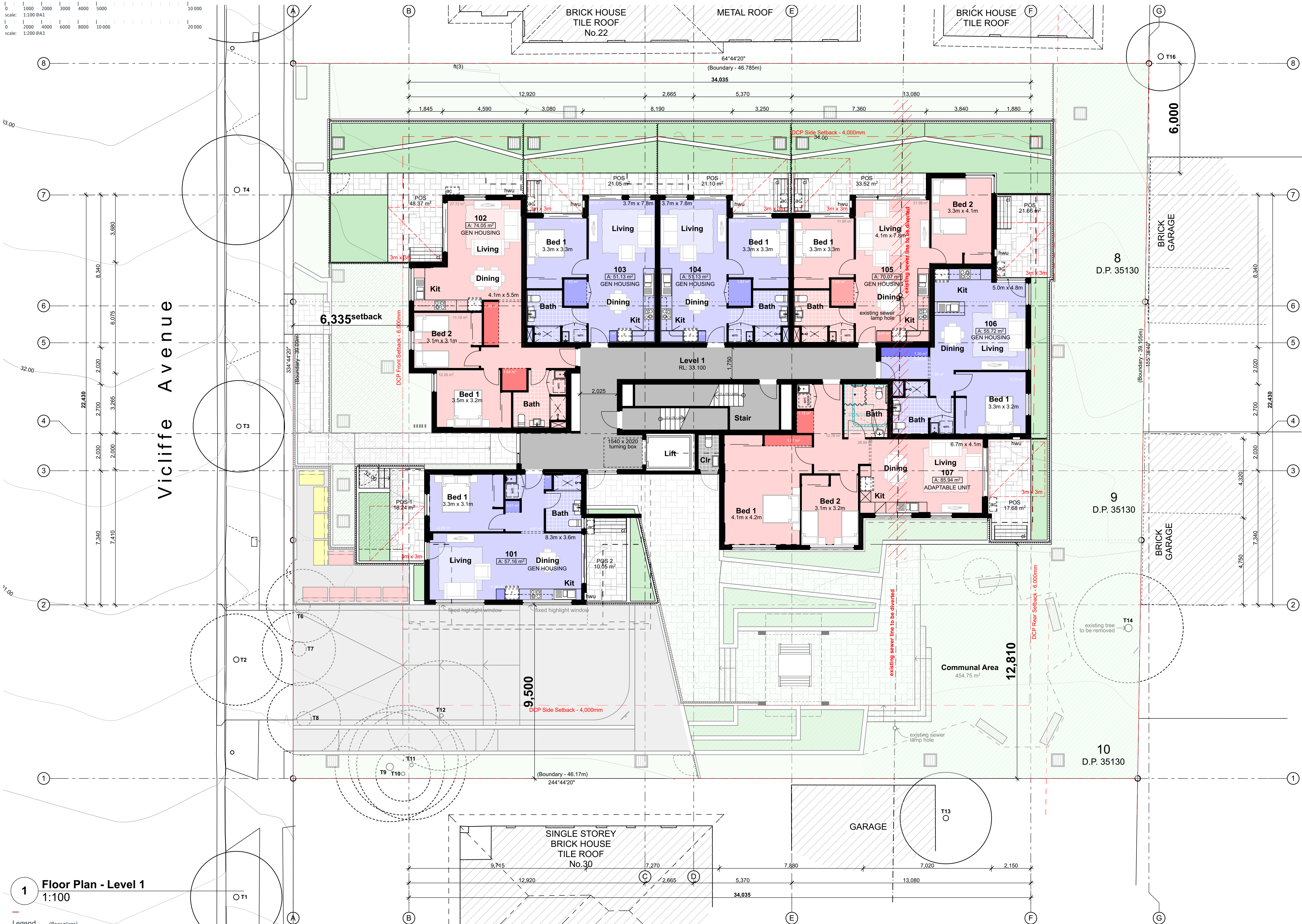
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DA05

Revision#;  
12

Basement Car Park Plan



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0 2000 4000 6000 8000 10 000 20 000  
scale: 1:200 @A3



1 Floor Plan - Level 1  
1:100

Legend (floor plans)  
note: drawing may not contain all items listed below

- door numbers (as scheduled)  
(prefix ex. for existing door)
- window numbers (as scheduled)  
(prefix ex. for existing window)
- wall type (as scheduled)
- air conditioner condenser
- accessible

- ageing, disability & home care
- ambulant
- access panel
- balustrade (type)
- broom finish concrete
- bollard
- broom cupboard
- basin
- ceramic floor tile (type)
- control joint
- clothes line
- column

- communications cabinet
- carpet (type)
- cooking
- downpipe
- doorpost
- electrical distribution box
- existing face brickwork (type)
- fire hose reel
- floor mat
- fridge space
- floor waste

- garbage bin
- gate
- grated drain
- handrail (type)
- hose tap
- hot water unit
- hydrant
- kerb ramp
- letter box
- linen cupboard
- microwave
- off form concrete

- photocopier
- pantry
- refrigerator
- recessed floor mat
- wardrobe
- retaining wall (type)
- rainwater tank
- sink
- steel column
- steel float concrete
- shower
- skylight/skytube

- sliding door
- store
- sheet vinyl (type)
- storm water pit
- tactile ground surface indicators
- vent pipe
- wood float concrete
- washing machine space
- wall oven
- wheel stop

Note: All washing machines to be 700mm wide.

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Drawing No;  
DA06

Revision#;  
12

Floor Plan - Level 1

Unit Typology  
1 bed  
2 bed





ac	air conditioner condenser
acc	accessible

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**DA07**

Revision#;  
12

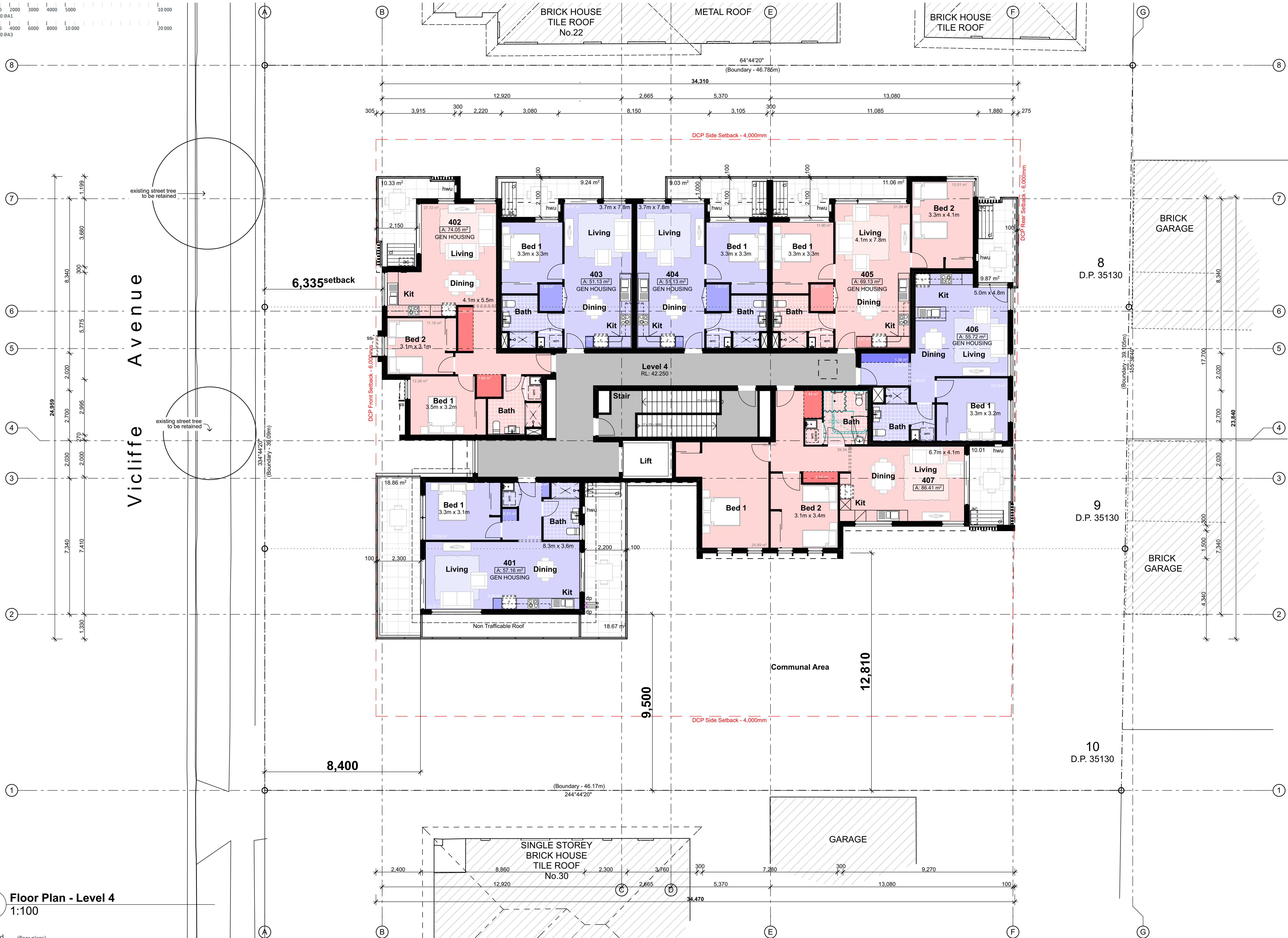
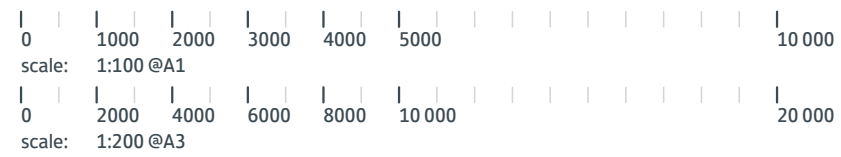
Floor Plan - Level 2-3  
(Typical)

Unit Typology

1 bec

2 bec





1 Floor Plan - Level 4  
1:100

Legend (floor plans)  
note: drawing may not contain all items listed below

- (DN) door numbers (as scheduled)  
(prefix ex. for existing door)
- (WN) window numbers (as scheduled)  
(prefix ex. for existing window)
- [a] wall type (as scheduled)
- ac air conditioner condenser  
acc accessible

- adhc ageing, disability & home care  
amb ambulant  
ap access panel  
bal(1) balustrade (type)  
bfc broom finish concrete  
bol bollard  
brm broom cupboard  
bsn basin  
cft(1) ceramic floor tile (type)  
cj control joint  
cl clothes line  
col column

- comms cpt(1)  
ct downpipe  
dp doorpost  
edb electrical distribution box  
ex existing  
fb(1) face brickwork (type)  
fhr fire hose reel  
fm floor mat  
fs fridge space  
fw floor waste

- communication cabinet  
carpet (type)  
cooktop  
downpipe  
doorpost  
electrical distribution box  
existing  
face brickwork (type)  
fire hose reel  
floor mat  
clothes line  
floor waste

- gb garbage bin  
gt gate  
gtd grated drain  
hr(1) handrail (type)  
ht hose tap  
hwu hot water unit  
hydrant  
kerb ramp  
lb letter box  
lin linen cupboard  
mw microwave  
ofc off form concrete

- p/c pty  
pty pantry  
ref refrigerator  
rfm recessed floor mat  
rwd wardrobe  
rw(1) retaining wall (type)  
rwt rainwater tank  
snk sink  
sc steel column  
sfc steel float concrete  
sk skylight/skytube

- photocopier  
pantry  
refrigerator  
recessed floor mat  
wardrobe  
retaining wall (type)  
rainwater tank  
sink  
steel column  
steel float concrete  
shower  
skylight/skytube

- sl sliding door  
st store  
sv(1) sheet vinyl (type)  
swp storm water pit  
tgsi tactile ground surface indicators  
vp vent pipe  
wfc wood float concrete  
wm washing machine space  
wo wall oven  
ws wheel stop

Note: All washing machines to be 700mm wide.

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Rev	Issue	Date
03	Issue to Access Consultant	20/3/19
04	Draft DA Package	27/3/19
05	Final DA Package	16/4/19
06	Issue To Access	16/04/19
07	Final DA Package	24/04/19
08	Final DA Package	30/4/19
09	Final DA Package	7/5/19
10	Revised Issue - Consultant Co-ordination	08/11/19
11	Revised Architectural Issue	28/11/19
12	DA Issue	11/12/19

Architecture  
Project management  
Interior design



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Mono Constructions

Residential Apartment Building (x28)

24-28 Viclife Avenue,  
Campsie, NSW

Drawn; jok/mc/ck/ef  
Checked; jok  
Plot date; 12/12/19

Scale: 1:100 as noted @ A1

Project No;  
2370.18

Drawing No;  
DA08

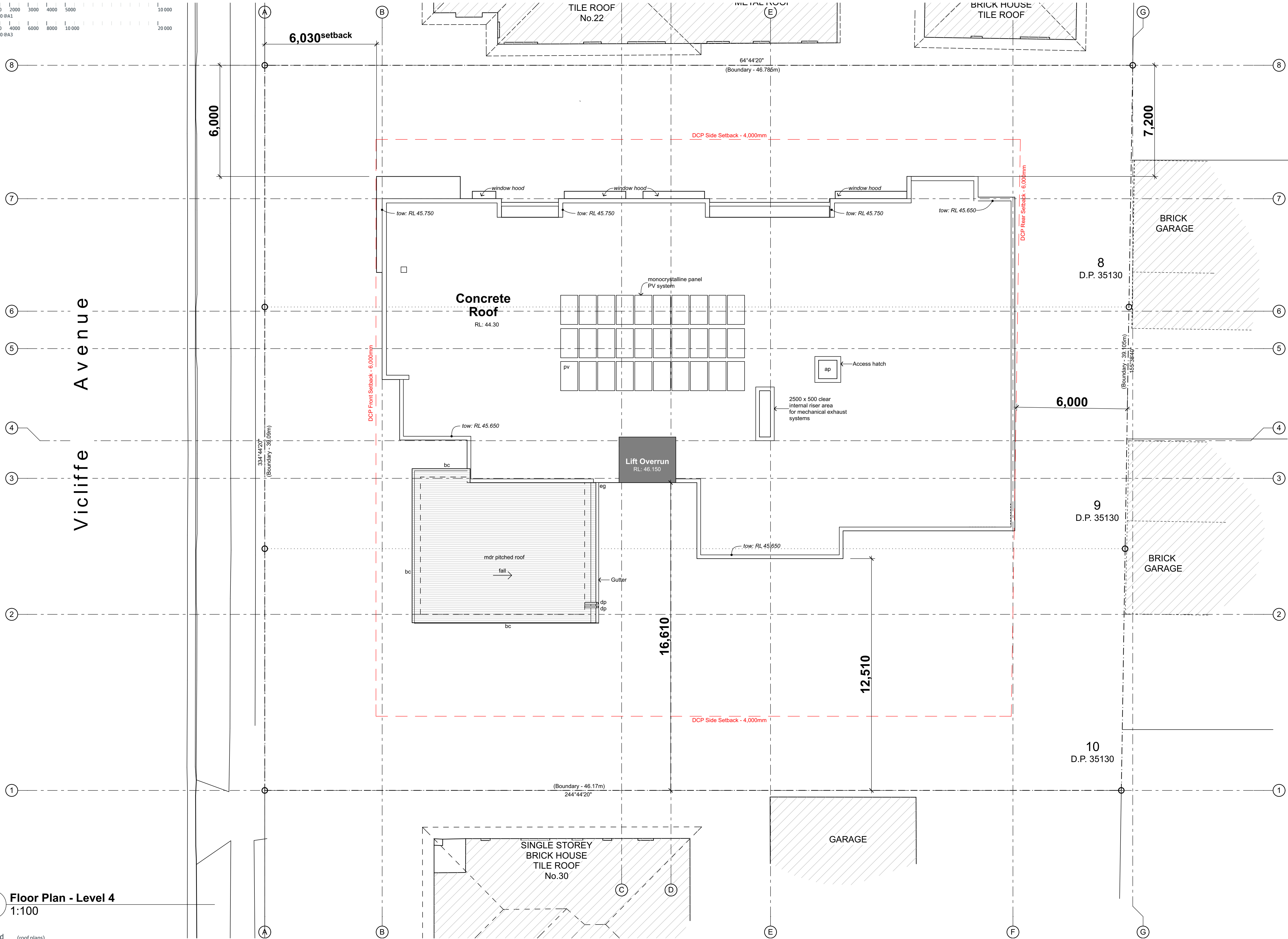
Revision#;  
12

Floor Plan - Level 4

- Unit Typology
- 1 bed
- 2 bed



0 1000 2000 3000 4000 5000 10 000  
scale: 1:100 @A1  
0 2000 4000 6000 8000 10 000 20 000  
scale: 1:200 @A3



1 Floor Plan - Level 4  
1:100

- Legend** (roof plans)  
note: drawing may not contain all items listed below
- |     |                          |     |                    |
|-----|--------------------------|-----|--------------------|
| ap  | access panel             | rwc | roof ridge capping |
| bc  | barge capping            | rwh | rainwater head     |
| dp  | downpipe                 | sk  | skylight/skylight  |
| eg  | eaves gutter             | tf  | tray flashing      |
| ex  | existing                 | vg  | valley gutter      |
| fg  | flashing                 | vof | vertical overflow  |
| gu  | gutter                   | vp  | vent pipe          |
| mdr | metal deck roof sheeting |     |                    |
| of  | overflow                 |     |                    |
| pc  | parapet capping          |     |                    |
| pv  | photovoltaic cells       |     |                    |

note:

- provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
- gutter on brackets as specified
- roof safety system to be installed, refer to specification
- provide gutter guards to all guttering throughout refer to reference specification for 'group homes' construction adhc august 2012
- metal roof sheeting to comply with AS1562.1

- gutters, downpipes and flashing must comply with AS/NZ 2179.1 and AS1273 and not contain any lead for potable water supplies. The roof water is not proposed to be used for potable water supply.
- down pipe sizes are required to satisfy the requirements of BCA 3.5.2.5

- the fire hazard properties of materials used must comply with the following:  
(a) sacking-type materials used in the roof must have a flammability index not greater than 5.  
(b) flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS4254.

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09	Revised Architectural Issue	28/11/19
10	DA Issue	11/12/19

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Mono Constructions

Residential Apartment Building (x28)

24-28 Vicliffe Avenue,  
Campsie, NSW

Drawn; jok/mc/ck/ef  
Checked; jok  
Plot date; 12/12/19

Scale; 1:100 as noted @ A1

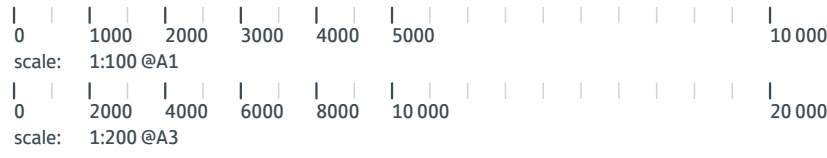
Project No;  
2370.18

Drawing No;  
DA09

Revision#;  
10

Roof Plan





E02 North Elevation  
1:100



E01 West Elevation (Vicliffe St)  
1:100

Legend (elevation & sections)		note: drawing may not contain all items listed below	
ac	air conditioner condenser	cj	control joint
ag	ag pipe	conc.	concrete
alv	adjustable louvers	cs	coved skirting
alw	aluminium framed window	dp	downpipe
bal(1)	balustrade (type)	dth	door head
bc	barge capping	eg	eaves gutter
bg	box gutter	egl	existing ground line
bhc	brick header course	ex.	existing
boe	brick on edge	f	fixed sash window
bws	brickwork sill	fb(1)	face brickwork (type)
cfc	compessed fibre cement	fcf	finished ceiling level
		fl	finished floor level
		flv	fixed louvers
		gl	ground line
		gt	gate
		hr(1)	handrail (type)
		ip	insulated panel
		flv	fixed louvers
		mc(1)	metal cladding (type)
		mdr	metal deck roof
		nc	non structural column
		ofc	off form concrete
		olv	operable louvres
		p(1)	paint (type)
		pap(1)	perforated acoustic panel (type)
		pbd	plasterboard
		pv	photovoltaic cells
		rc	rendered concrete
		rms	raked metal soffit
		rp	render & paint finish
		rs	roller shutter
		rw	retaining wall
		rwh	rainwater head
		s	sliding sash window
		sc	steel column
		sl	sliding door
		ss(1)	sun shade (type)
		ts	timber skirting
		note:	
		1. all handrails, balustrades & louvers shown indicatively only, refer to detail drawings for clarity.	
		2. refer to engineer's drawings for final co-ordination.	
		3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.	

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08	Revised Issue - Consultant Co-ordination	08/11/19
09	Revised Architectural Issue	28/11/19
10	DA Issue	11/12/19

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Residential Apartment Building (x28)

24-28 Vicliffe Avenue,  
Campsie, NSW

Drawn; jok/mc/ck/ef  
Checked; jok  
Plot date; 12/12/19

Scale; 1:100 as noted @ A1

Project No;  
2370.18

Drawing No;  
DA10

Revision#;  
10

Elevations (Sht 1 of 2)





**E04** South Elevation  
1:100



**E03** East Elevation  
1:100

**Legend** (elevation & sections)

note: drawing may not contain all items listed below

ac	air conditioner condenser
ag	ag pipe
alv	adjustable louvers
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge capping
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compessed fibre cement

cj	control joint
conc.	concrete
cs	coved skirting
dp	downpipe
dth	door head
eg	eaves gutter
egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fcf	finished ceiling level
fl	finished floor level

flv	fixed louvres
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
flv	fixed louvres
mc(1)	metal cladding (type)
mdr	metal deck roof
nc	non structural column
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)

pap(1)	perforated acoustic panel (type)
pbd	plasterboard
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp	render & paint finish
rs	roller shutter
rw	retaining wall
rwh	rainwater head
s	sliding sash window
sc	steel column
sl	sliding door

ss(1)	sun shade (type)
ts	timber skirting

**note:**

1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

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09	Revised Architectural Issue	28/11/19
10	DA Issue	11/12/19

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**Mono Constructions**

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn; jok/mc/ck/ef  
Checked; jok  
Plot date; 12/12/19

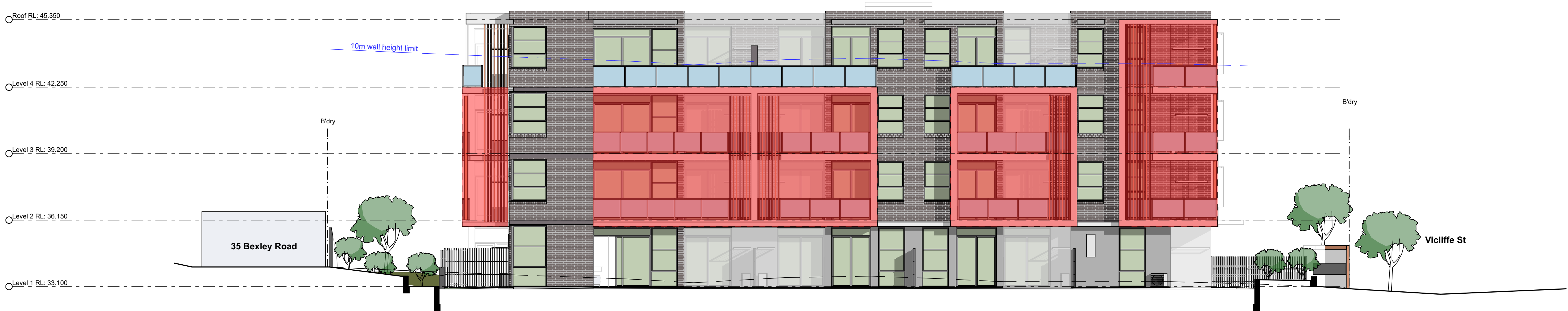
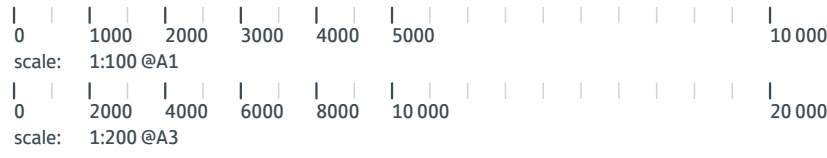
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Project No;  
**2370.18**

Drawing No; **DA11** Revision#; **10**

Elevations (Sht 2 of 2)





**E02 North Elevation**  
1:100



**E01 West Elevation (Viccliffe St)**  
1:100

Legend  
Projected Building Elements

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Rev	Issue	Date
01	Revised Architectural Issue	10/12/19

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**Mono Constructions**

Residential Apartment Building (x28)  
24-28 Viccliffe Avenue,  
Campsie, NSW

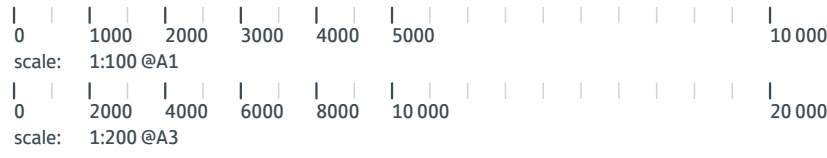
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Checked; jok  
Plot date; 12/12/19  
Scale; 1:100 as noted @ A1

Project No;  
**2370.18**

Drawing No; **DA11B** Revision#; **01**

**Building Wall Height  
Diagram (Sht 1 of 2)**





**E04** South Elevation  
1:100



**E03** East Elevation  
1:100

Legend  
Projected Building Elements

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Rev	Issue	Date
01	Revised Architectural Issue	10/12/19

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**Mono Constructions**

Residential Apartment Building (x28)  
24-28 Vicliffe Avenue,  
Campsie, NSW

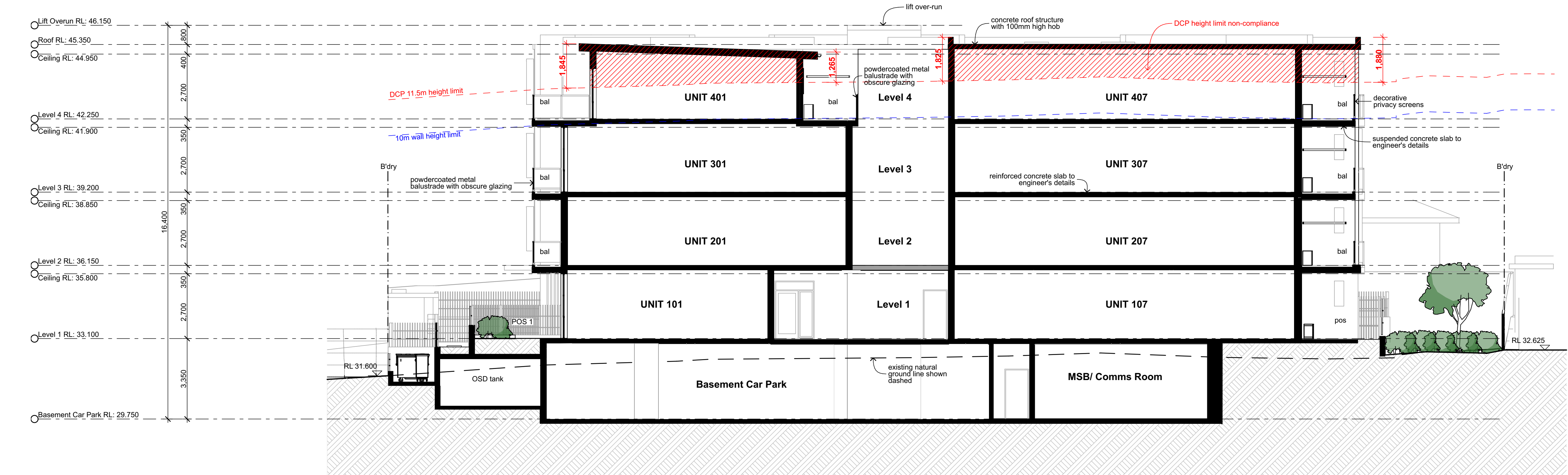
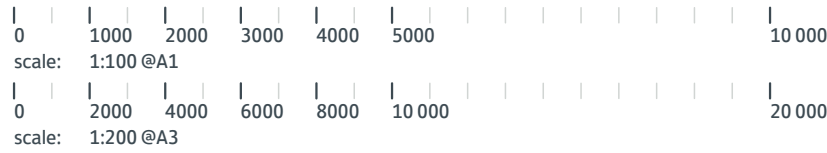
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Checked; jok  
Plot date; 12/12/19  
Scale; 1:100 as noted @ AI

Project No;  
**2370.18**

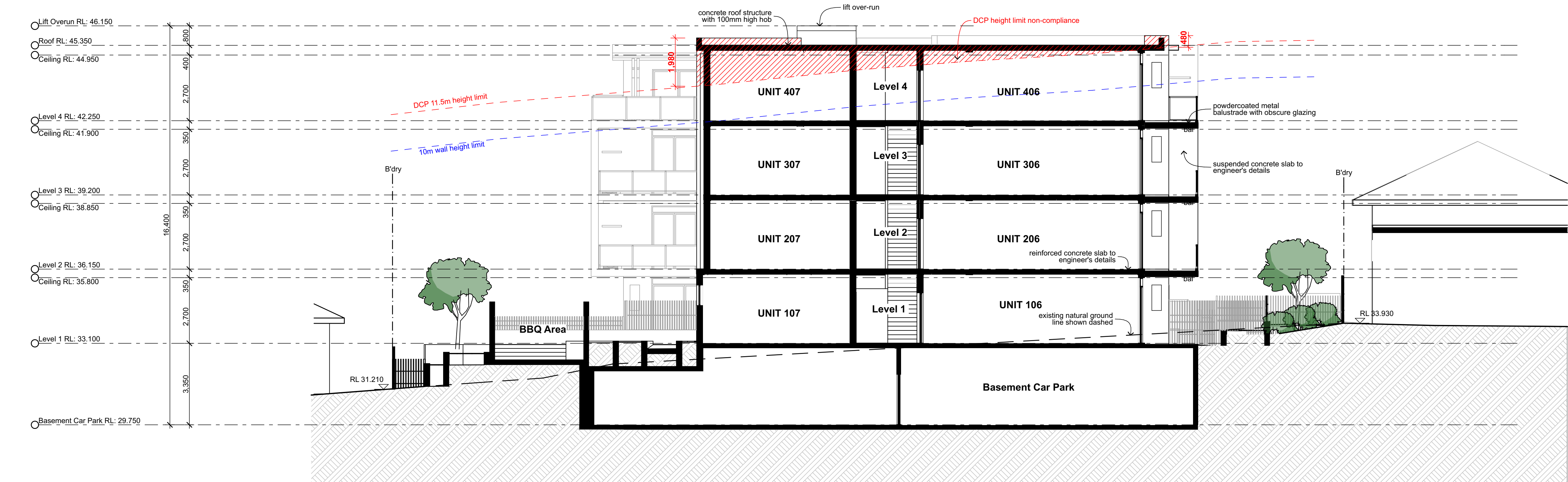
Drawing No; **DA11C** Revision#; **01**

**Building Wall Height  
Diagram (Sht 2 of 2)**





**S01** Section  
1:100



**S02** Section  
1:100

**Legend** (elevation & sections)

note: drawing may not contain all items listed below

ac air conditioner condenser  
ag pipe  
alv adjustable louvers  
alw aluminium framed window  
bal(1) balustrade (type)  
bc barge capping  
bg box gutter  
bhc brick header course  
boe brick on edge  
bws brickwork sill  
cfc compressed fibre cement

cj conc.  
cs concrete  
dp downpipe  
dth door head  
eg eaves gutter  
egl existing ground line  
ex existing  
f fixed sash window  
fb(1) face brickwork (type)  
fcl finished ceiling level  
fl finished floor level

flv fixed louvers  
gl ground line  
gt gate  
hr(1) handrail (type)  
ip insulated panel  
flv fixed louvers  
mc(1) metal cladding (type)  
mdr metal deck roof  
nc non structural column  
ofc off form concrete  
olr operable louvers  
p(1) paint (type)

pap(1) perforated acoustic panel (type)  
pbd plasterboard  
pv photovoltaic cells  
rc rendered concrete  
rms raked metal soffit  
rp render & paint finish  
rs roller shutter  
rw retaining wall  
rwh rainwater head  
s sliding sash window  
sc steel column  
sl sliding door

ss(1) sun shade (type)  
ts timber skirting

**note:**

1. all handrails, balustrades & louvers shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

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11	DA Issue	11/12/19

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**Mono Constructions**

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn;jok/mc/ck/ef  
Checked;jok  
Plot date;12/12/19

Scale; 1:100 as noted @ A1

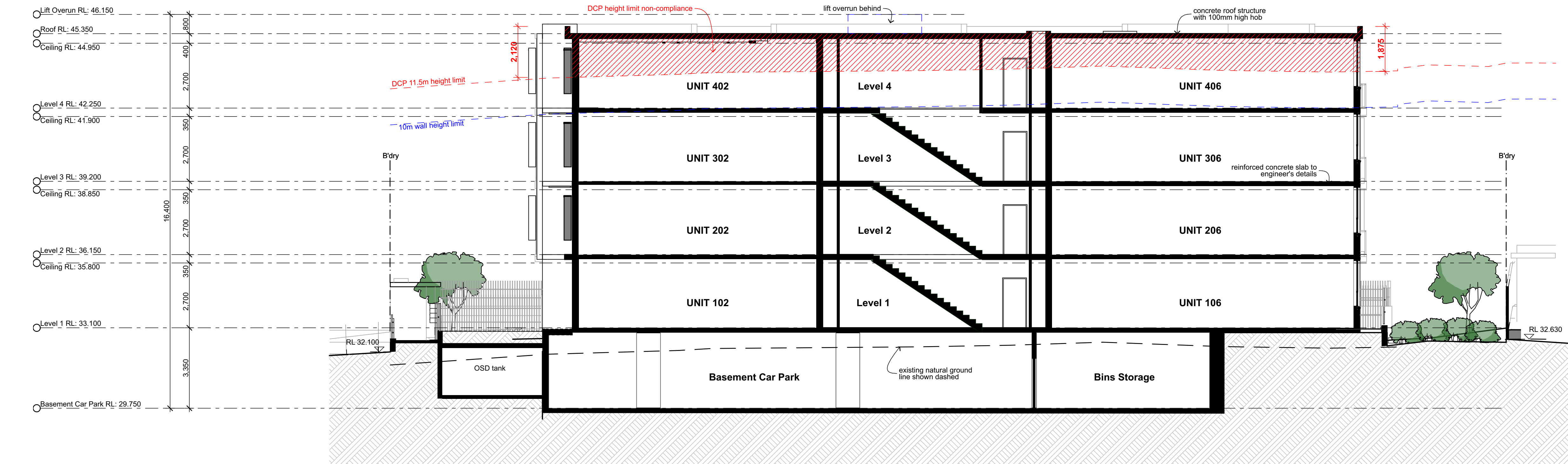
Project No;  
**2370.18**

Drawing No;  
**DA12**

Revision#;  
**11**

Sections (Sht 1 of 2)



[illegible]

**Legend** (elevation & sections)  
note: drawing may not contain all items listed below

ac	air conditioner condenser
ag	ag pipe
alv	adjustable louvres
alw	aluminium framed window
bal(1)	balustrade (type)
bc	barge cladding
bg	box gutter
bhc	brick header course
boe	brick on edge
bws	brickwork sill
cfc	compressed fibre cement

cj	control joint
conc.	concrete
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dp	downpipe
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egl	existing ground line
ex.	existing
f	fixed sash window
fb(1)	face brickwork (type)
fcl	finished ceiling level
ffl	finished floor level

flv	fixed louvres
gl	ground line
gt	gate
hr(1)	handrail (type)
ip	insulated panel
flv	fixed louvres
mc(1)	metal cladding (type)
mdr	metal deck roof
nc	non structural column
ofc	off form concrete
olv	operable louvres
p(1)	paint (type)

pap(1)	perforated acoustic panel (type)
pbd	plasterboard
pv	photovoltaic cells
rc	rendered concrete
rms	raked metal soffit
rp	render & paint finish
rs	roller shutter
rw	retaining wall
rwh	rainwater head
s	sliding sash window
sc	steel column
sl	sliding door

note:

1. all handrails, balustrades etc. refer to detail drawings
2. refer to engineer's drawing
3. acoustic panel edges at all exposed edges including bottom (adjoining skirting aluminium angle).

note:

1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

ss(1)	sun shade (type)
ts	timber skirting

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## Mono Constructions

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn; jok/mc/ck/ef  
Checked; jok  
Plot date; 12/12/19

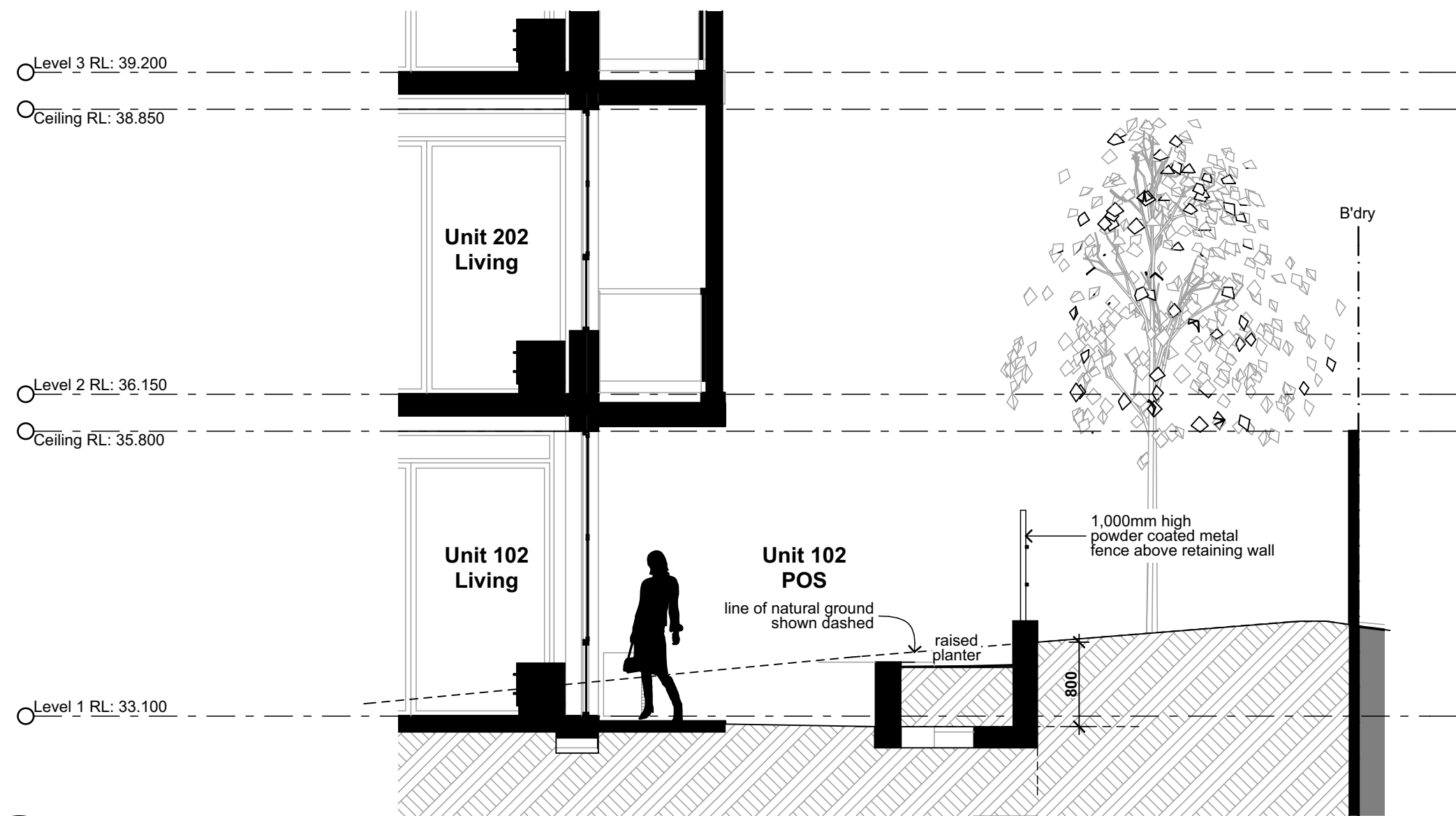
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Project No;  
**2370.18**

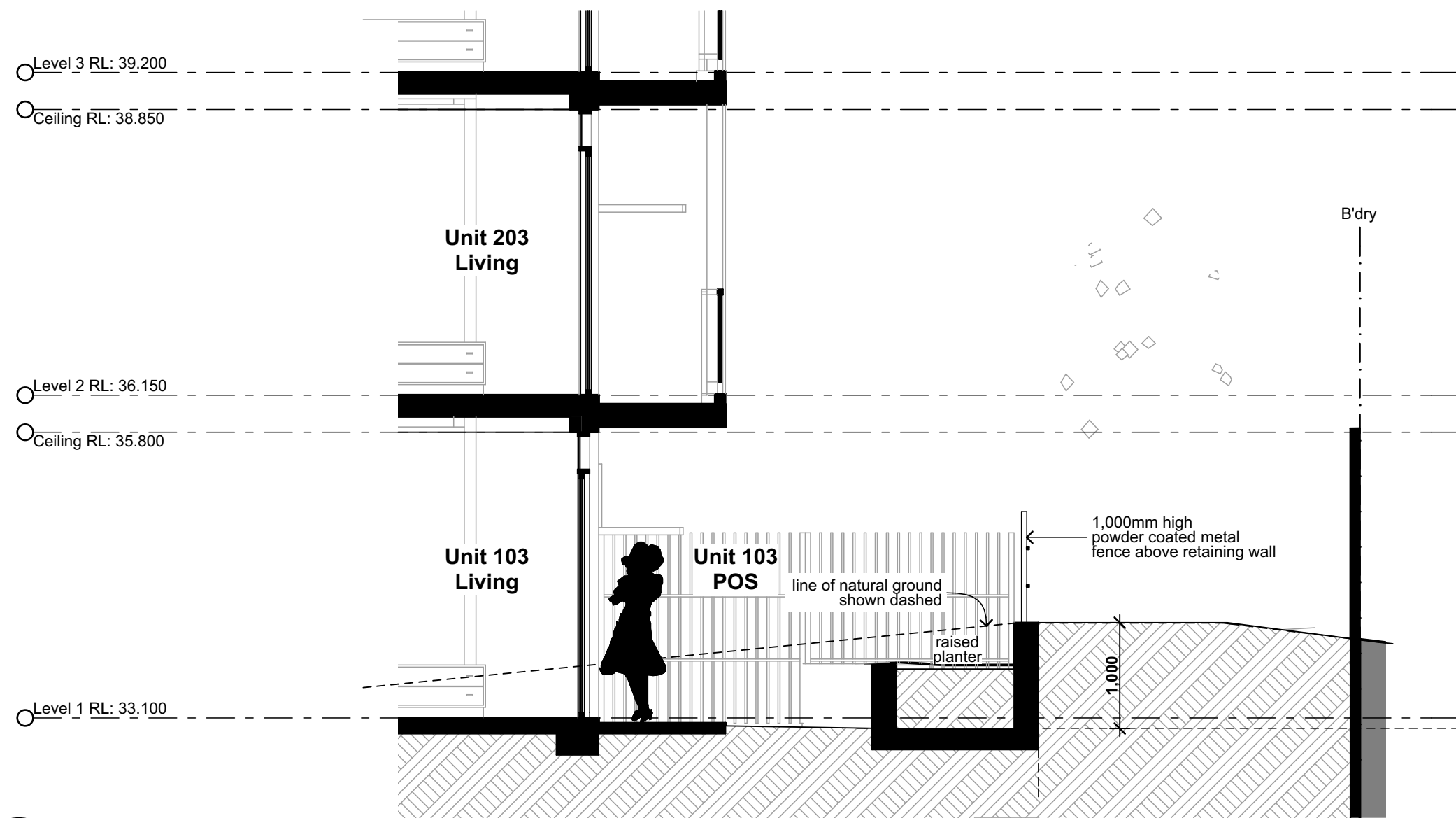
Drawing No; DA13  
Revision#; 10

### Sections (Sht 2 of 2)

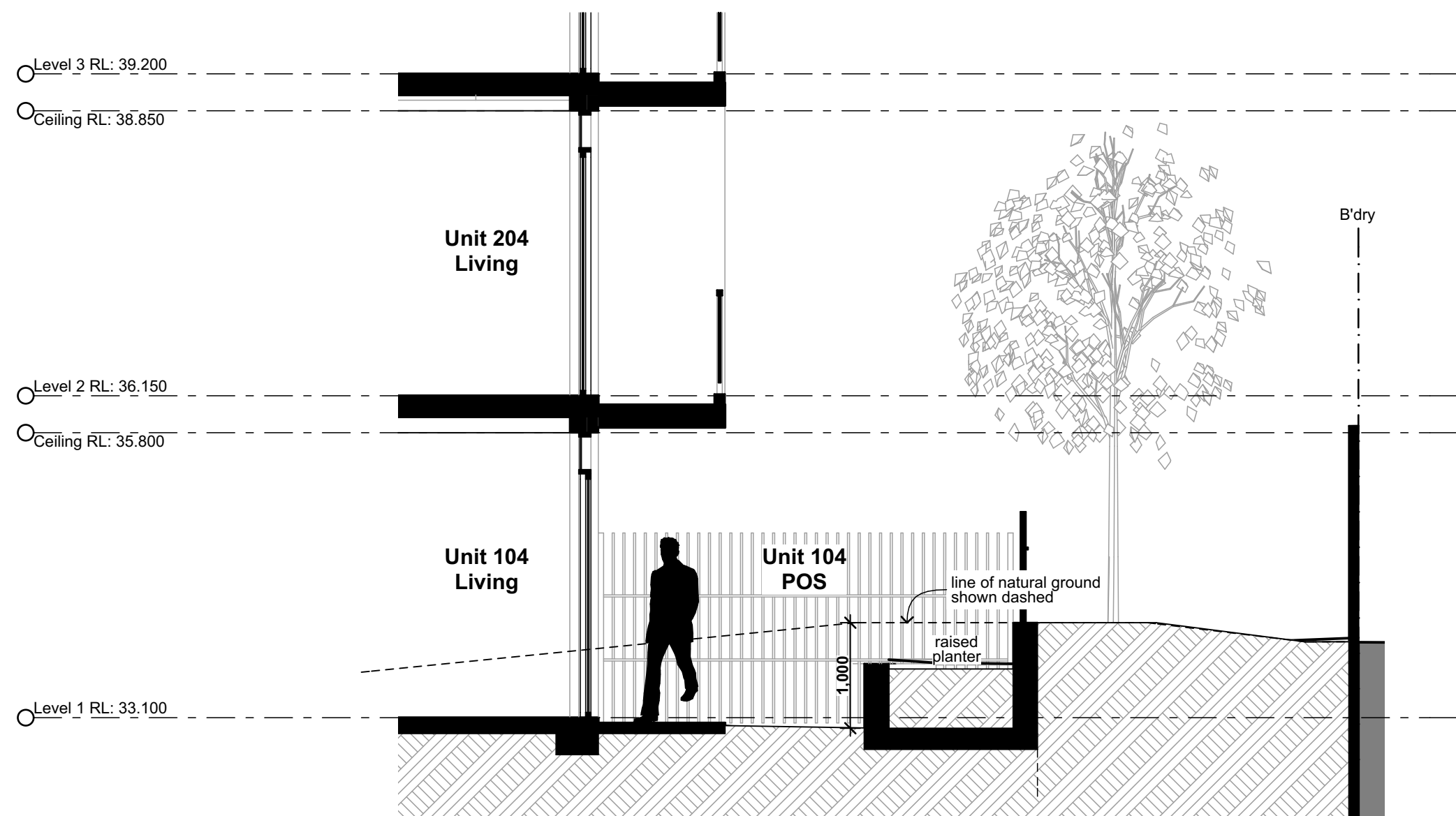




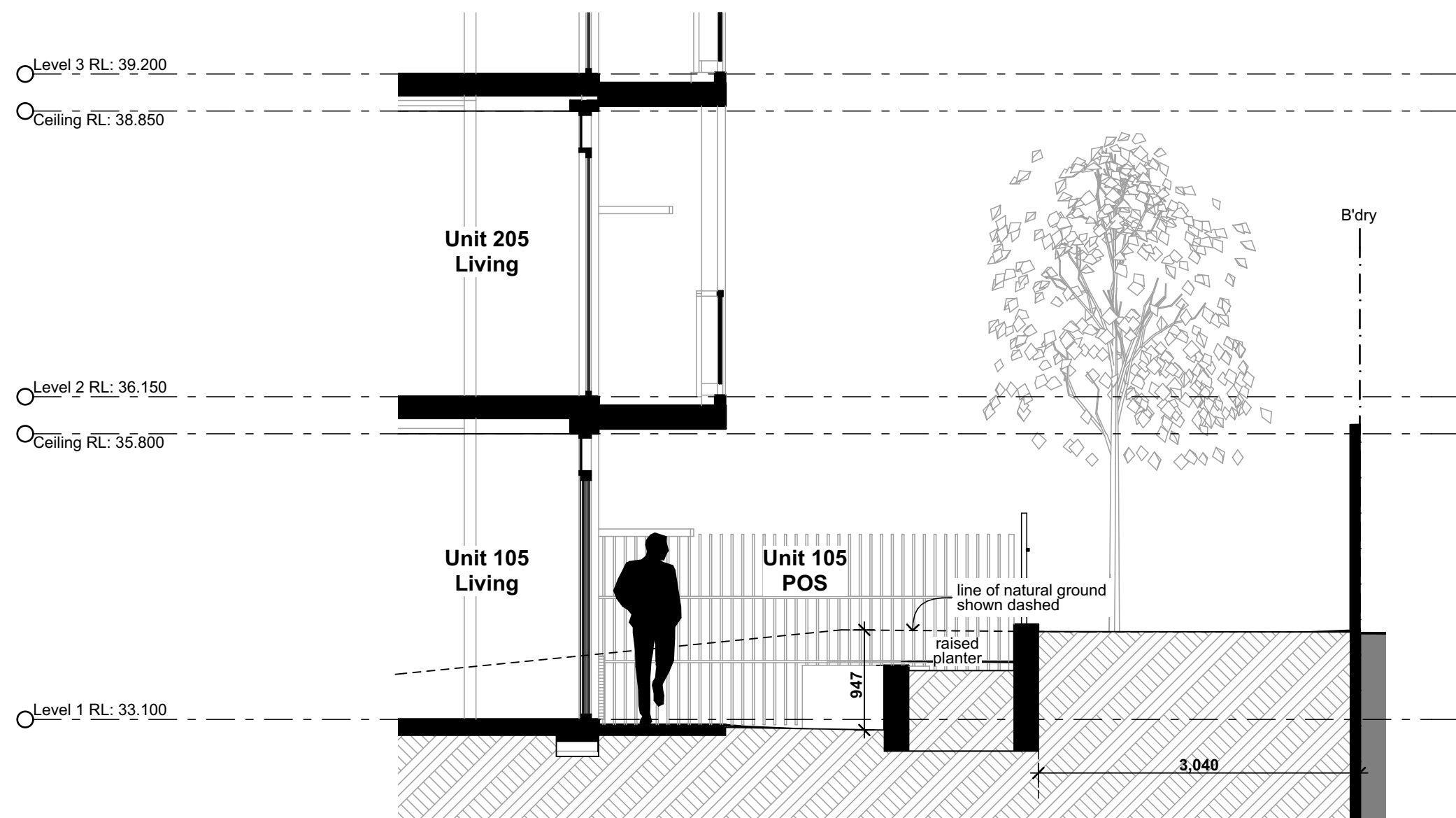
1 Section through U102 POS  
1:50



2 Section through U103 POS  
1:50



3 Section through U104 POS  
1:50



4 Section through U105 POS  
1:50

Legend (elevation & sections)							
note: drawing may not contain all items listed below							
ac	air conditioner condenser	cj	control joint	flv	fixed louvres	pap(1)	perforated acoustic panel (type)
ag	ag pipe	conc.	concrete	gl	ground line	pbd	plasterboard
alv	adjustable louvres	cs	coved skirting	gt	gate	pv	photovoltaic cells
alw	aluminium framed window	dp	downpipe	hr(1)	handrail (type)	rc	rendered concrete
bal(1)	balustrade (type)	dth	door head	ip	insulated panel	rms	raked metal soffit
bc	barge capping	eg	eaves gutter	flv	fixed louvres	rp	render & paint finish
bg	box gutter	egl	existing ground line	mc(1)	metal cladding (type)	rs	roller shutter
bhc	brick header course	ex.	existing	mdr	metal deck roof	rw	retaining wall
boe	brick on edge	f	fixed sash window	nc	non structural column	rwh	rainwater head
bws	brickwork sill	fb(1)	face brickwork (type)	ofc	off form concrete	s	sliding sash window
cfc	compessed fibre cement	fcf	finished ceiling level	olv	operable louvres	sc	steel column
		fl	finished floor level	p(1)	paint (type)	sl	sliding door

note:

1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.

2. refer to engineer's drawings for final co-ordination.

3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

ss(1) sun shade (type)  
ts timber skirting

note:  
1. all handrails, balustrades & louvres shown indicatively only, refer to detail drawings for clarity.  
2. refer to engineer's drawings for final co-ordination.  
3. acoustic panel edges at all major joints (solid line) & all exposed edges including top (adjoining s/s sill) & bottom (adjoining skirting) are to include 12x12mm aluminium angle.

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Rev	Issue	Date
01	Revised Architectural Issue	28/11/19
02	DA Issue	11/12/19

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Project management  
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Land & Housing Corporation

Mono Constructions

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn; jok/mc/ck/ef  
Checked; jok  
Plot date; 12/12/19

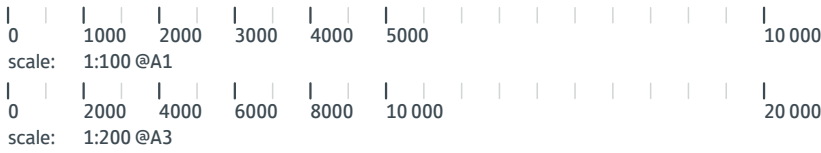
Scale; 1:50 as noted @ A1

Project No;  
2370.18

Drawing No; DA13B  
Revision#; 02

Sections (over POS)





DCP Building Height Plane



1 LEP 11.5m  
(Minor Non-Compliance)

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Notified Architects - D.P. Stanton 3642, S.M. Evans 7686  
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01	Preliminary DA Package	14/3/19
02	Final DA Package	18/3/19
03	Draft DA Package	27/3/19
04	Final DA Package	16/4/19
05	Final DA Package	24/04/19
06	Final DA Package	30/4/19
07	Final DA Package	7/5/19
08	Revised Architectural Issue	28/11/19
09	DA Issue	11/12/19

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Residential Apartment Building (x28)

24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn;jok/mc/ck/ef  
Checked;jok  
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Scale; as noted @ A1

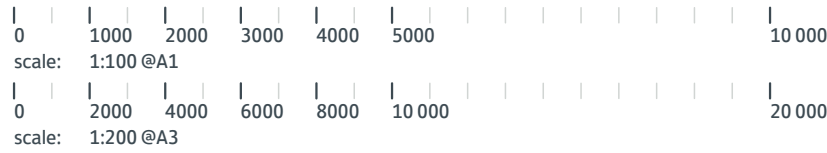
Project No;  
**2370.18**

Drawing No;  
**DA24**

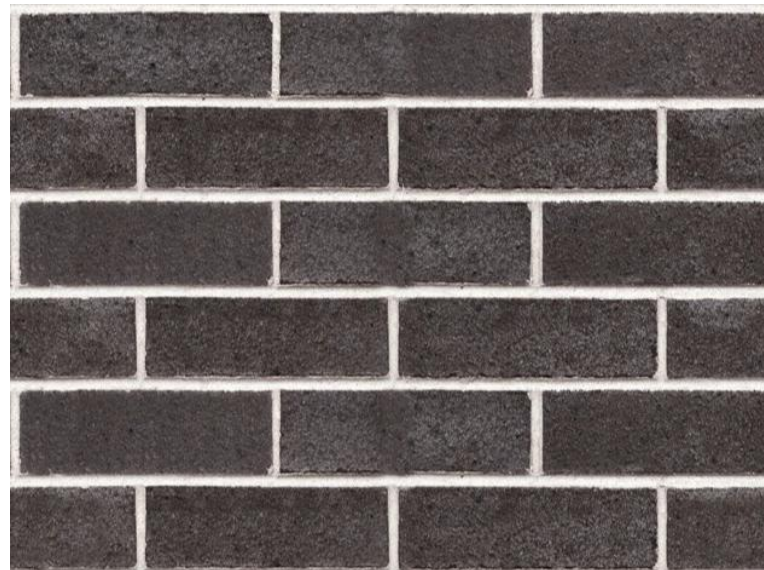
Revision#;  
**09**

DCP Height Plane

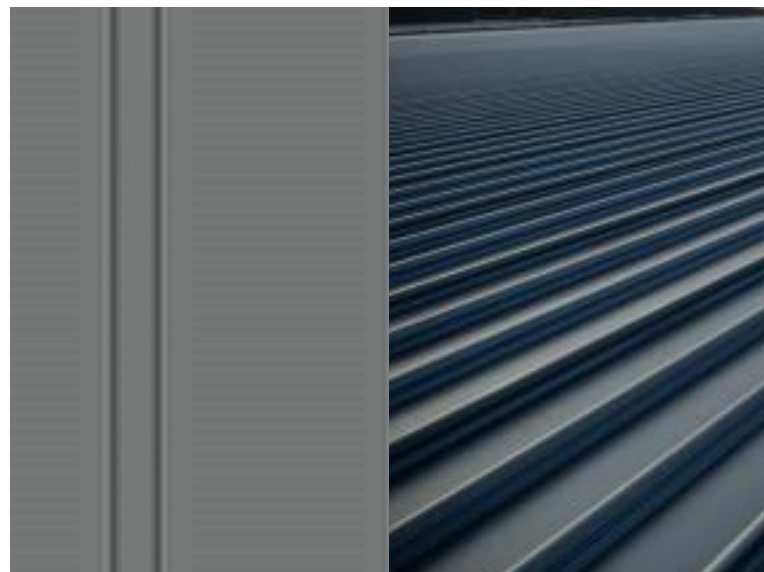




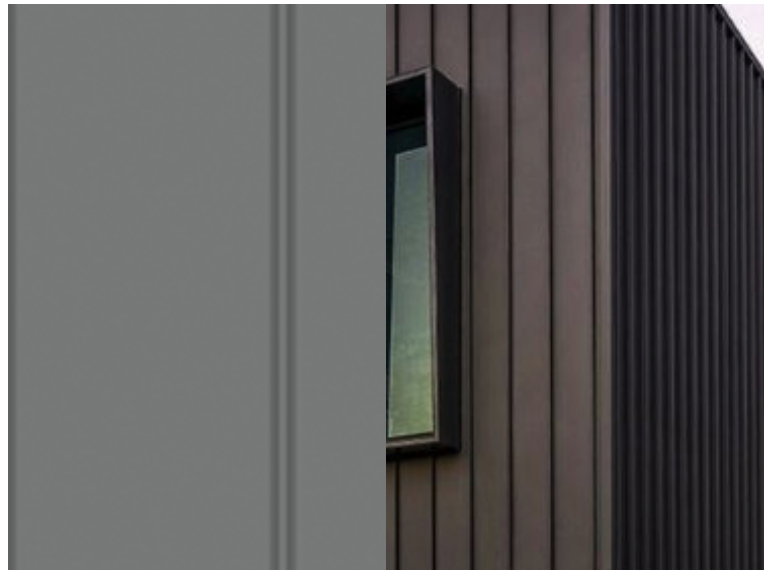
## External Colour Selections (Sample)



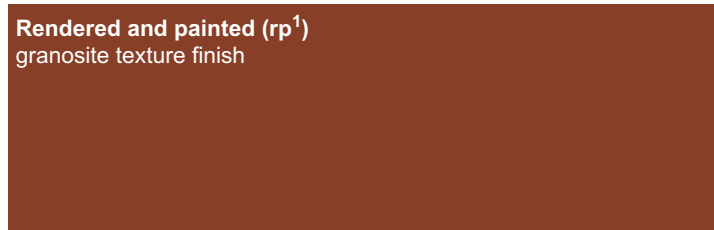
Face Brick (fb)



Metal Deck Roofing (mdr)



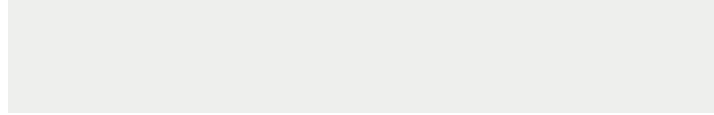
Metal Cladding (mc)



Rendered and painted (rp<sup>1</sup>)  
granosite texture finish



Rendered and painted (rp<sup>2</sup>)  
granosite texture finish



Rendered and painted (rp<sup>3</sup>)  
granosite texture finish



Facade Details

rendered & painted (rp3)

metal cladding (mc)

rendered & painted (rp<sup>4</sup>)

face brick (fb)

rendered & painted (rp<sup>3</sup>)

rendered & painted (rp<sup>1</sup>)

rendered & painted (rp<sup>2</sup>)



Viccliffe St Persepctive

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## Mono Constructions

Residential Apartment Building (x28)

24-28 Viccliffe Avenue,  
Campsie, NSW

Drawn;jok/mc/ck/ef  
Checked;jok  
Plot date; 12/12/19

Scale: 1:1, 1:0.322, 1:4.087, 1:3.381, 1:1.058,  
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1:2.117, 1:1.626 as noted @ A1

Project No;  
**2370.18**

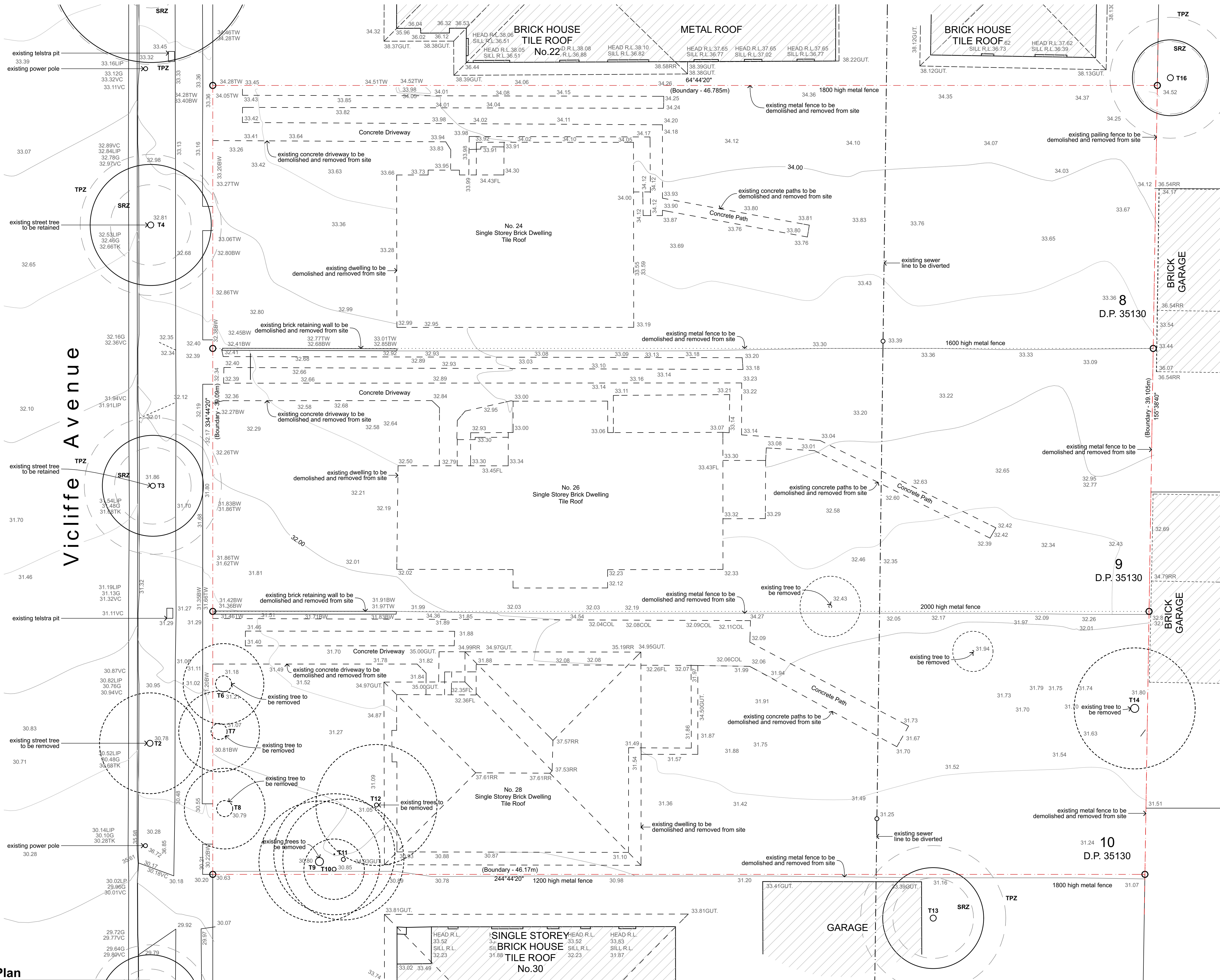
Drawing No;  
**DA25**

Revision#;  
**09**

External Colour  
Selections



0 1000 2000 3000 4000 5000 10 000  
scale: 1:100 @A1  
0 2000 4000 6000 8000 10 000 20 000  
scale: 1:200 @A3



## 01 Demolition Plan 1:100

**Legend**

demolition plan  
note: drawing may not contain all items listed below

existing trees to be retained

existing trees to be removed

denotes existing items to be demolished or removed (walls, equipment etc.)

not in scope of works

note:

1. this drawing shall be read in conjunction with structural and service engineer documents.
2. broken lines indicate general extent of demolition and removal but full extent of these works includes all ancillary and associated elements not necessarily described by the specific notes.
3. where ex. walls are to be demolished, provide all temporary structural supports as required and as detailed by engineer. all redundant equipments to be returned to client for storage.
4. refer to services consultants drawings for removal of ex. services and requirements.
5. remove ex. sink unit, all associated pipework and ex. tiled surround and make good. cap off and seal ex. pipework.

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Residential Apartment Building (x28)

24-28 Vicliffe Avenue,  
Campsie, NSW

Drawn: jok/mc/ck/ef  
Checked: jok  
Plot date: 19/12/19

Scale: 1:100 as noted @ A1

Project No:  
2370.18

Drawing No: DA26  
Revision#: 01

Demolition Plan



# PROPOSED DEVELOPMENT

24-28 Vicliffe Avenue, Campsie, NSW  
greenview Job No: 181016

## GENERAL INSTRUCTIONS

- THIS SOIL AND WATER MANAGEMENT PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ENGINEERING PLANS RELATING TO THIS DEVELOPMENT.
- CONTRACTORS WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE UNDERTAKEN AS INSTRUCTED IN THIS SPECIFICATION AND CONSTRUCTED FOLLOWING THE GUIDELINES OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING, 1998 (BLUE BOOK).
- ALL SUBCONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN REDUCING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS, WHERE DISCREPANCIES ARE FOUND NOTIFY ENGINEER IMMEDIATELY FOR VERIFICATION.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES.

## LAND DISTURBANCE INSTRUCTIONS

- DISTURBANCE TO BE NO FURTHER THAN 5 (PREFERABLY 2) METRES FROM THE EDGE OF ANY ESSENTIAL ENGINEERING ACTIVITY AS SHOWN ON APPROVED PLANS. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE ZONES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ACCESS AREAS ARE TO BE LIMITED TO A MAXIMUM WIDTH OF 10 METRES THE SITE MANAGER WILL DETERMINE AND MARK THE LOCATION OF THESE ZONES ON-SITE. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE BOUNDARIES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ENTRY TO LANDS NOT REQUIRED FOR CONSTRUCTION OR ACCESS IS PROHIBITED EXCEPT FOR ESSENTIAL THINNING OF PLANT GROWTH.
- WORKS ARE TO PROCEED IN THE FOLLOWING SEQUENCE:
  - INSTALL ALL BARRIER AND SEDIMENT FENCING WHERE SHOWN ON THE PLAN.
  - CONSTRUCT THE STABILISED SITE ACCESS.
  - CONSTRUCT DIVERSION DRAINS AS REQUIRED.
  - INSTALL MESH AND GRAVEL INLETS FOR ANY ADJACENT KERB INLETS.
  - INSTALL GEOTEXTILE INLET FILTERS AROUND ANY ON-SITE DROP INLET PITS.
  - CLEAR SITE AND STRIP AND STOCKPILE TOPSOIL IN LOCATIONS SHOWN ON THE PLAN.
  - UNDERTAKE ALL ESSENTIAL CONSTRUCTION WORKS ENSURING THAT ROOF AND/OR PAVED AREA STORMWATER SYSTEMS ARE CONNECTED TO PERMANENT DRAINAGE AS SOON AS PRACTICABLE.
  - GRADE LOT AREAS TO FINAL GRADES AND APPLY PERMANENT STABILISATION (LANDSCAPING) WITHIN 20 DAYS OF COMPLETION OF CONSTRUCTION WORKS.
  - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER THE PERMANENT LANDSCAPING HAS BEEN COMPLETED.
- ENSURE THAT SLOPE LENGTHS DO NOT EXCEED 80 METRES WHERE PRACTICABLE. SLOPE LENGTHS ARE DETERMINED BY SILTATION FENCING AND CATCH DRAIN SPACING.
- ON COMPLETION OF MAJOR WORKS LEAVE DISTURBED LANDS WITH A SCARIFIED SURFACE TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING TOPSOIL LATER.

## SITE MAINTENANCE INSTRUCTIONS

- THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND AT THE CONCLUSION OF EVERY STORM EVENT TO:
  - ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS.
  - REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 5 METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS.
  - REMOVE TRAPPED SEDIMENT WHENEVER THE DESIGN CAPACITY OF THAT STRUCTURE HAS BEEN EXCEEDED.
  - ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND NOT TO INITIATE UPGRADING OR REPAIR AS NECESSARY.
  - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS. MAKE ONGOING CHANGES TO THE PLAN WHERE IT PROVES INADEQUATE IN PRACTICE OR IS SUBJECT TO CHANGES IN CONDITIONS ON THE WORK-SITE OR ELSEWHERE IN THE CATCHMENT.
  - MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED.

THE SITE SUPERINTENDENT WILL KEEP A LOGBOOK MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:

- THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS.
- THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS.
- THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE.
- THE NEED FOR DUST PREVENTION STRATEGIES.
- ANY REMEDIAL WORKS TO BE UNDERTAKEN.

THE LOGBOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF THE WORKS.

## SAFETY IN DESIGN NOTES

- THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

## SEDIMENT CONTROL INSTRUCTIONS

- SEDIMENT FENCES WILL BE INSTALLED AS SHOWN ON THE PLAN AND ELSEWHERE AT THE DISCRETION OF THE SITE SUPERINTENDENT TO CONTAIN SOIL AS NEAR AS POSSIBLE TO THEIR SOURCE.
- SEDIMENT FENCES WILL NOT HAVE CATCHMENT AREAS EXCEEDING 900 SQUARE METRES AND HAVE A STORAGE DEPTH OF AT LEAST 0.6 METRES.
- SEDIMENT REMOVED FROM ANY TRAPPING DEVICES WILL BE RELOCATED WHERE FURTHER POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS CANNOT OCCUR.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 5 METRES OF HAZARD AREAS INCLUDING AREAS OF HIGH VELOCITY FLOWS SUCH AS WATERWAYS, PAVED AREAS AND DRIVEWAYS.
- WATER WILL BE PREVENTED FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR WATER HAS BEEN TREATED BY AN APPROVED DEVICE.
- TEMPORARY SEDIMENT TRAPS WILL REMAIN IN PLACE UNTIL AFTER THE LANDS THEY ARE PROTECTING ARE COMPLETELY REHABILITATED.
- ACCESS TO SITES SHOULD BE STABILISED TO REDUCE THE LIKELIHOOD OF VEHICLES TRACKING SOIL MATERIALS ONTO PUBLIC ROADS AND ENSURE ALL-WEATHER ENTRY/EXIT.

## SOIL EROSION CONTROL INSTRUCTIONS

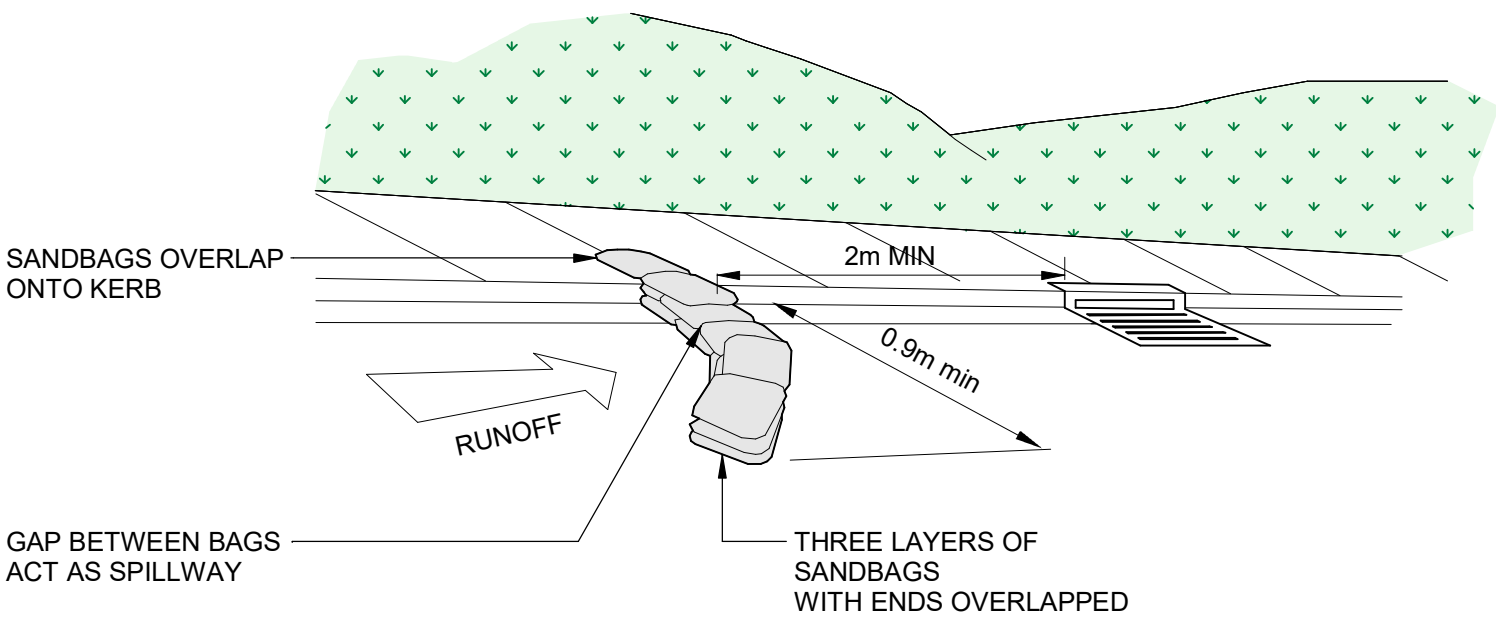
- EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NOTED, THAN:
  - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES.
  - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 16 METRES.
  - 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 20 METRES.
  - 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES.
- ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION STORM EVENT.
- WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.05 (70% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER-SOILS AND CONSTRUCTION", DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
- STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.1 (60% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
- ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
- FOR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20 KG/HA AND OATS 20 KG/HA.
- PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS. NEWLY PLANTED LANDS WILL BE WATERED REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY. FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED AS NECESSARY.
- REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING NATURAL SPECIES. NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTANT ANNUAL COVER CROPS SHOULD BE USED.

## WASTE CONTROL INSTRUCTIONS

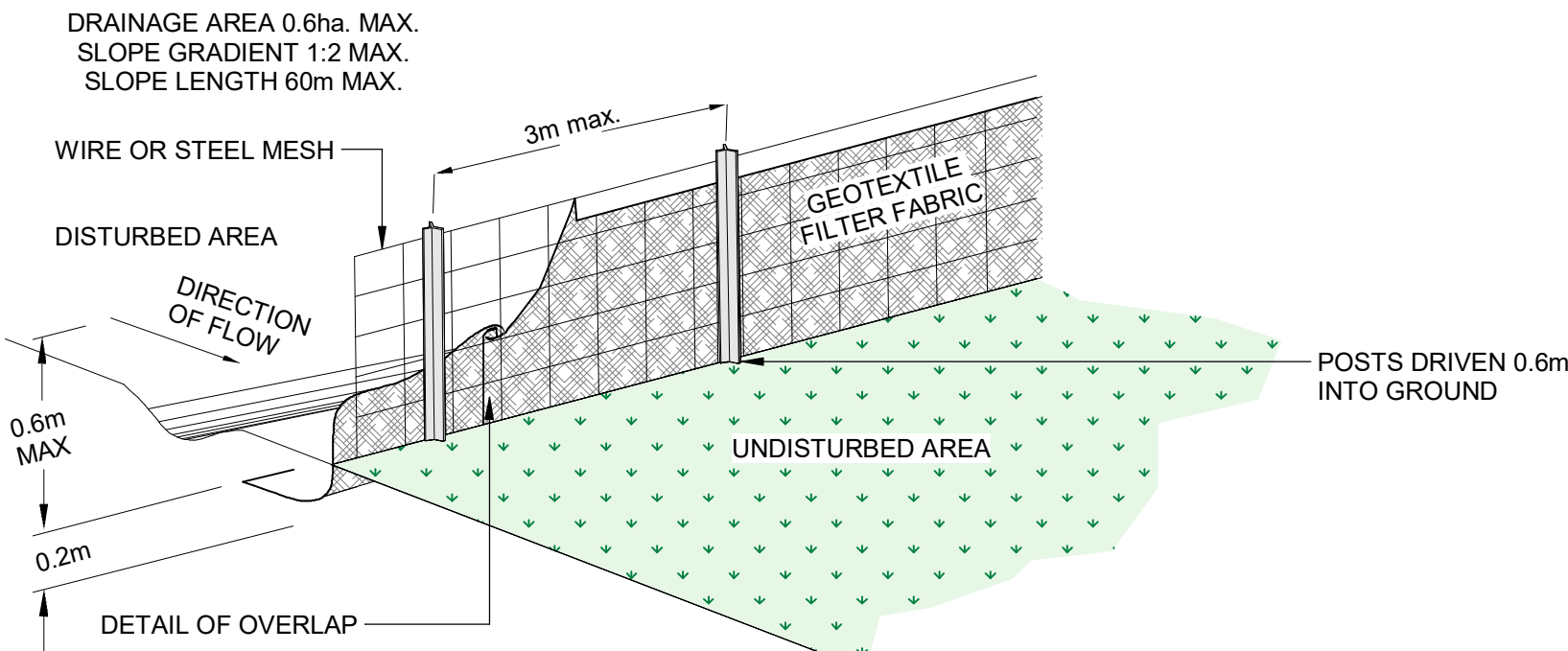
- ACCEPTABLE BINS WILL BE PROVIDED FOR ANY CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHTWEIGHT WASTE MATERIALS AND LITTER. CLEARANCE SERVICES WILL BE PROVIDED AT LEAST WEEKLY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- ALL POSSIBLE POLLUTANT MATERIALS ARE TO BE STORED WELL CLEAR OF ANY POORLY DRAINED AREAS, FLOOD PHONE AREAS, STREAMBANKS, CHANNELS AND STORMWATER DRAINAGE AREAS. STORE SUCH MATERIALS IN A DESIGNATED AREA UNDER COVER WHERE POSSIBLE AND WITHIN CONTAINMENT BUNDS.
- ALL SITE STAFF AND SUB-CONTRACTORS ARE TO BE INFORMED OF THEIR OBLIGATION TO USE WASTE CONTROL FACILITIES PROVIDED.
- ANY DE-WATERING ACTIVITIES ARE TO BE CLOSELY MONITORED TO ENSURE THAT WATER IS NOT POLLUTED BY SEDIMENT, TOXIC MATERIALS OR PETROLEUM PRODUCTS.
- PROVIDE DESIGNATED VEHICULAR WASHDOWN AND MAINTENANCE AREAS WHICH ARE TO HAVE CONTAINMENT BUNDS.

## PROCEDURE FOR DE-WATERING

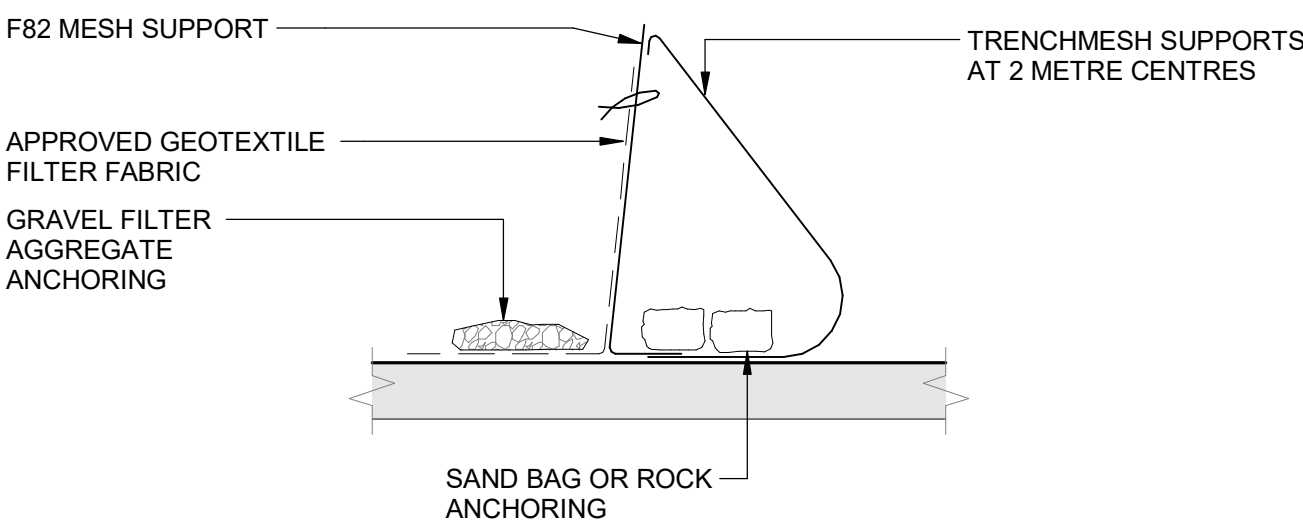
- ENSURE PERMISSION FOR DE-WATERING IS RECEIVED FROM AUTHORITIES BEFORE PUMPING OUT.
- AN ON-SITE TREATMENT PROCESS DISCHARGING TO THE STORMWATER SYSTEM WILL BE IMPLEMENTED. ALL SITE WATERS DURING CONSTRUCTION WILL BE CONTAINED ON SITE AND RELEASED ONLY WHEN pH IS BETWEEN 8.5 & 6.5, SUSPENDED SOLIDS ARE LESS THAN 50mg/L, TURBIDITY LESS THAN 100 NTUS, OIL AND GREASE LESS THAN 10mg/L AND BIOCHEMICAL OXYGEN DEMAND (BOD5) LESS THAN 30mg/L (FOR STORMS LESS THAN 1 IN 5 YEAR EVENTS).
- METHODS OF SAMPLING AND ANALYSIS OF WATER QUALITY WILL BE IN ACCORDANCE WITH THE APPLICABLE METHOD LISTED IN THE EPA PUBLISHED APPROVED METHODS FOR THE SAMPLING ANALYSIS OF WATER POLLUTANTS IN NEW SOUTH WALES.
- WHERE LABORATORY ANALYSIS IS REQUIRED AS INDICATED BY IN-SITU TESTING, APPROPRIATE SAMPLE BOTTLES AND PRESERVATIVES WILL BE USED AND GUIDANCE FOR THE SAMPLING METHOD OBTAINED FROM APPLICABLE PARTS OF ASS667.1 AND ASS667.6. ANALYSIS WILL BE UNDERTAKEN WHERE PRACTICAL BY A NATA REGISTERED LABORATORY CERTIFIED TO PERFORM THE APPLICABLE ANALYSIS.
- AS EXCAVATION TO TOP SOIL PROGRESSES, ANY WATER COLLECTED AT THE BOTTOM OF EXCAVATIONS WILL BE DIVERTED TO A TEMPORARY SEDIMENTATION BASIN OR SETTLEMENT TANK. IF THE WATER CONTAINS ONLY SEDIMENTS, IT WILL BE FILTERED AND PUMPED TO STORMWATER. BEFORE THIS CAN HAPPEN IT MUST CONTAIN LESS THAN 50mg/L TOTAL SUSPENDED SOLIDS.
- POLLUTED WATER MUST NOT ENTER THE STORMWATER SYSTEM. IN SOME CIRCUMSTANCES, A LIQUID WASTE COMPANY MAY BE REQUIRED TO COLLECT CONTAMINATED WATER FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.



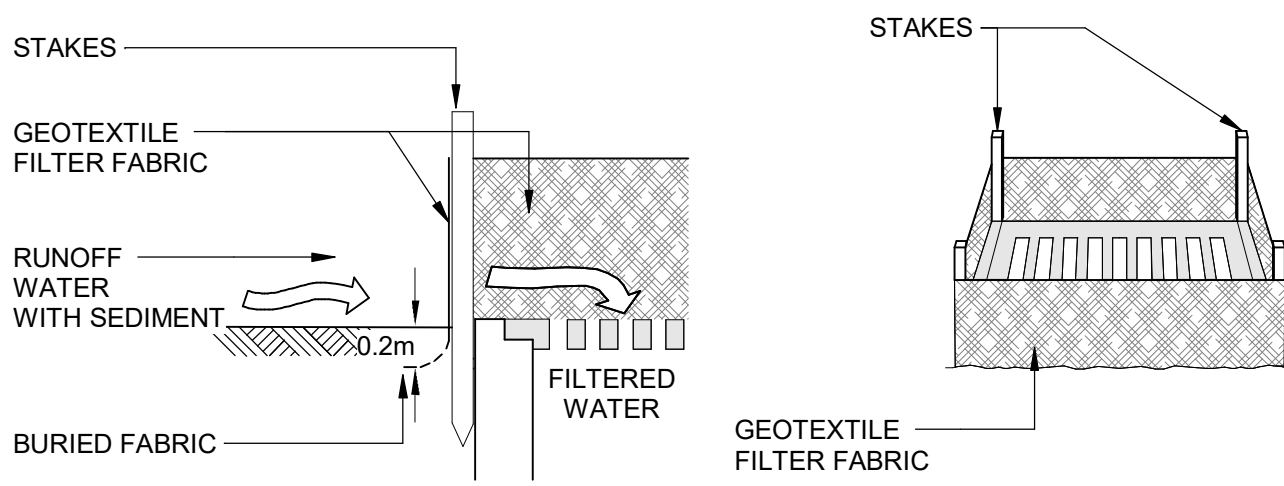
SANDBAG SEDIMENT TRAP  
Scale: 1 : 20



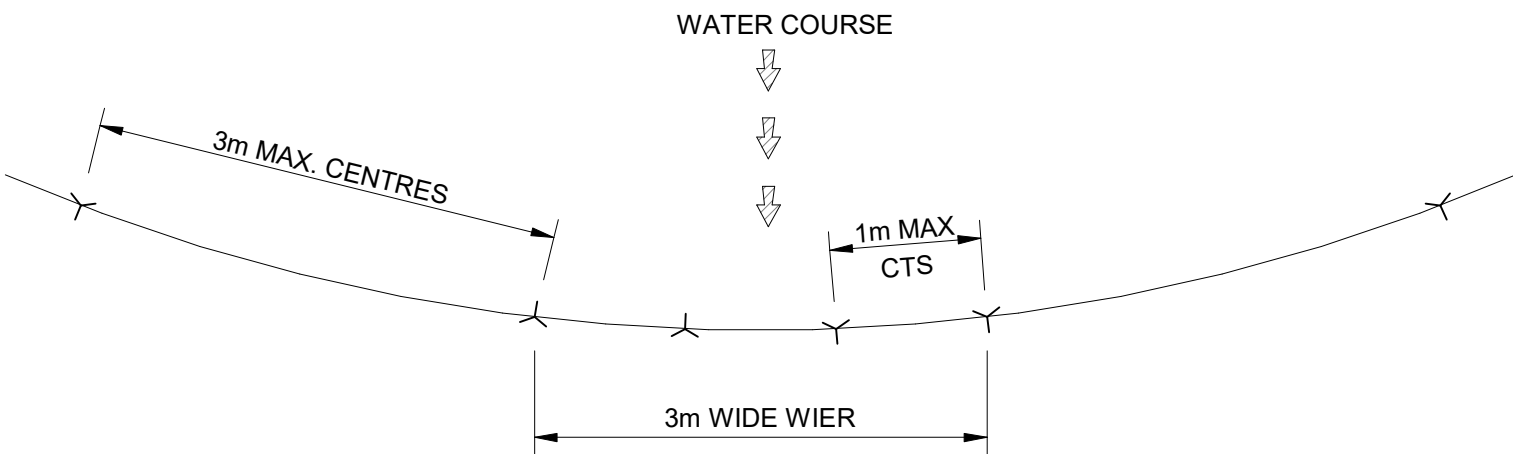
SEDIMENT SILT FENCE  
Scale: 1 : 20



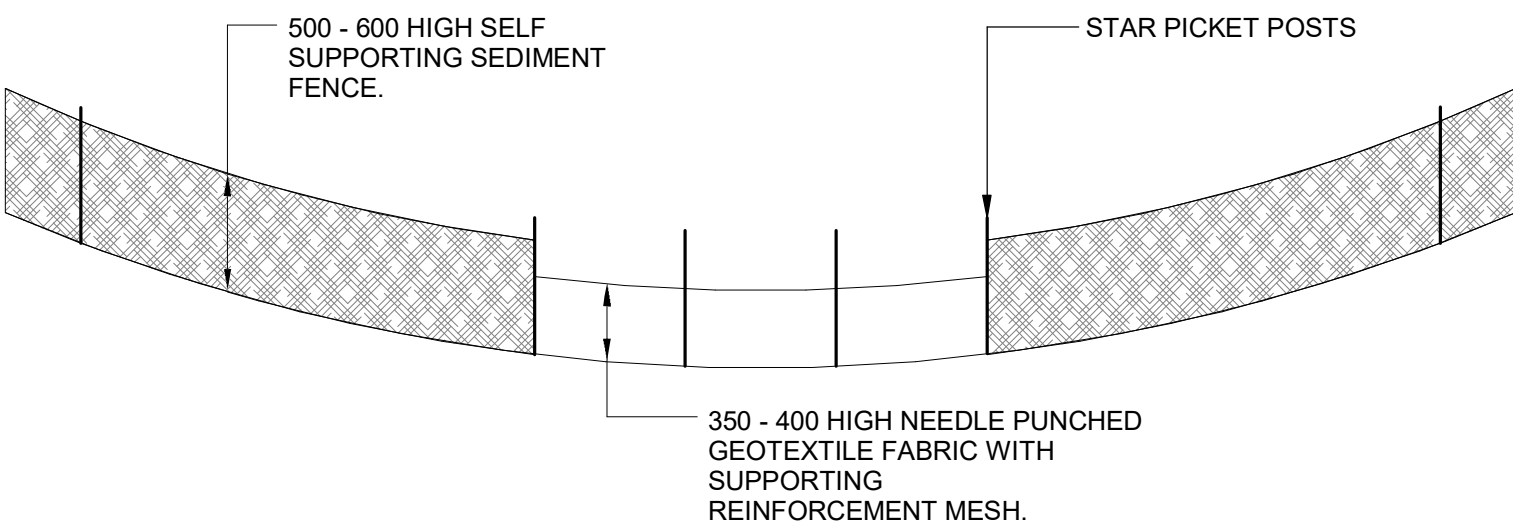
SILT FENCE BARRIER DETAIL  
Scale: 1 : 20



INLET SEDIMENT TRAP  
Scale: 1 : 20

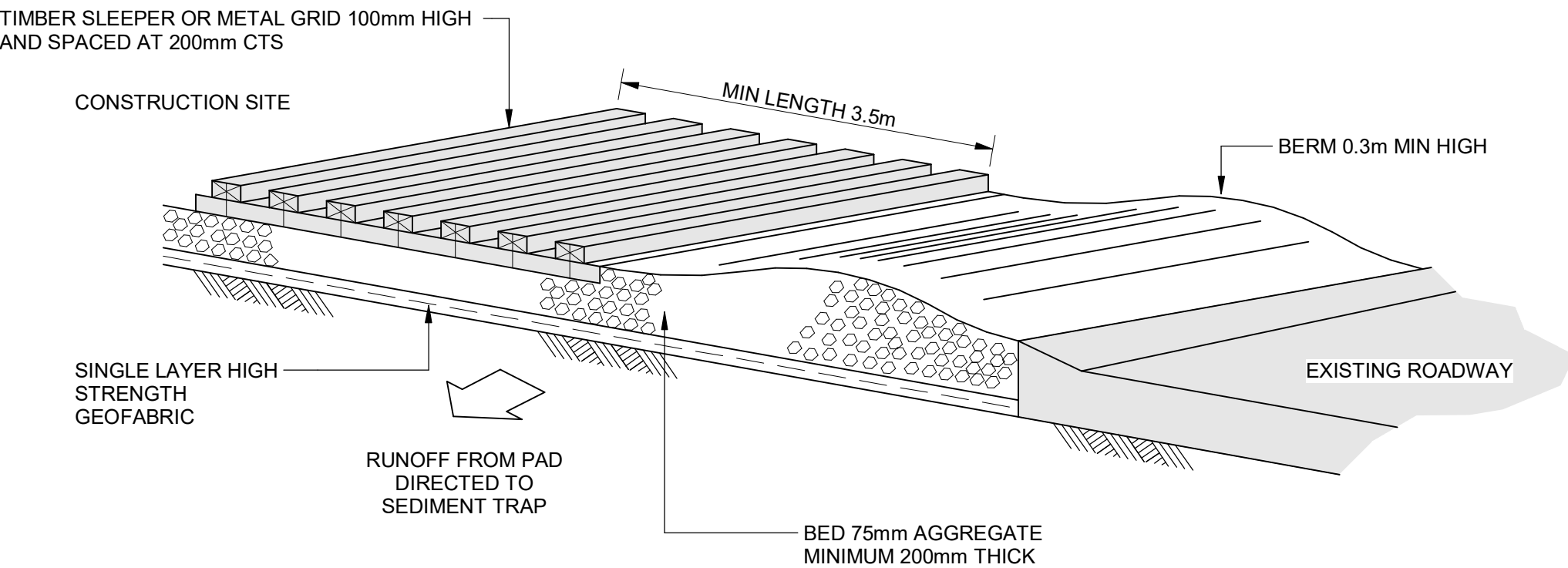


PLAN



ELEVATION

ESM\_SEDIMENT FENCE WEIR  
Scale: 1 : 20



TEMPORARY CONSTRUCTION EXIT  
Scale: 1 : 20

REV.	DATE	BY	DESCRIPTION	REV.	DATE	BY	DESCRIPTION
4	13.12.19	JPS	ISSUED FOR REVISED DA				
3	15.05.19	JPS	ISSUED FOR DA				
2	09.05.19	JPS	ISSUED FOR APPROVAL				
1	26.03.19	JPS	ISSUED FOR APPROVAL				

DESIGN:  
CHECKED: AMcK  
SCALE: As indicated  
SIZE: A1

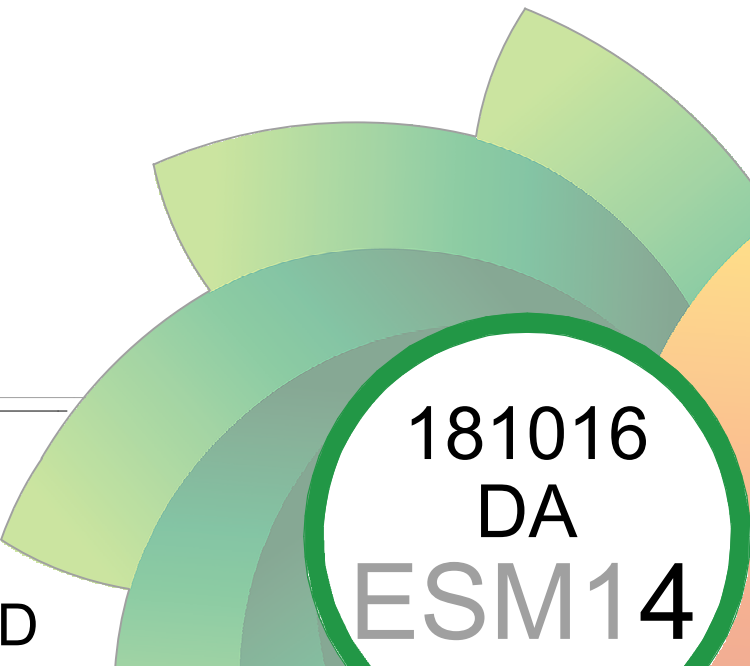


## PROPOSED DEVELOPMENT

24-28 Vicliffe Avenue, Campsie, NSW

Owner

CIVIL DESIGN  
NOTES & LEGEND





ENVIRONMENTAL SITE MANAGEMENT LAYOUT  
Scale: 1 : 100

FOR NOISE CONTROL, VIBRATION MANAGEMENT, DUST CONTROL, ODOUR CONTROL REFER TO NOTES ON THIS DRAWING.  
FOR OTHER NOTES (LITTER/WASTE, STORMWATER) REFER ESM1

SITE MANAGEMENT LEGEND

- CHAIN WIRE FENCE
- SILT FENCE

ESM - SITE MANAGEMENT SCHEDULE	
TYPE	DESCRIPTION
1	SKIP BIN (PROVIDE COVER)
2	SITE ACCESS GRATE
3	MATERIALS STOCKPILE (RELOCATE AS NECESSARY)
4	TOILET FACILITY
5	SITE SHED

- NOISE CONTROL
- WHERE POSSIBLE, STRATEGICALLY PLACE NOISE-GENERATING PLANT / EQUIPMENT TO TAKE ADVANTAGE OF NATURAL SCREENING (E.G. BUILDINGS)
  - AVOID PLACING NOISE-GENERATING PLANT / EQUIPMENT CLOSE TOGETHER AND/OR OPERATE SIMULTANEOUSLY
  - MAINTAIN ALL PLANT & EQUIPMENT TO MINIMISE NOISE EMISSIONS (E.G. REPAIR BROKEN SILENCING EQUIPMENT, TIGHTEN RATTLING COMPONENTS ETC)
  - ALL PLANT & EQUIPMENT TO BE OPERATED IN THE CORRECT MANNER TO AVOID UNNECESSARY NOISE EMISSIONS
  - ALL DELIVERIES TO SITE TO BE IN ACCORD WITH THE RELEVANT CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)
  - NO PUBLIC ADDRESS SYSTEMS TO BE USED EXCEPT IN THE CASE OF EMERGENCIES
  - WHERE NECESSARY, FIT PLANT WITH SILENCERS AND/OR OTHER NOISE ATTENUATION MEASURES
  - ENSURE CONSTRUCTION VEHICLES AND PLANT/EQUIPMENT ARE TURNED OFF WHEN NOT IN USE (I.E. AVOID IDLING)

- VIBRATION MANAGEMENT
- USE LOW-VIBRATION EMITTING PLANT & EQUIPMENT WHERE POSSIBLE
  - WHERE PRACTICAL, USE NON-PERCUSSIVE PILING TECHNIQUES OR PROVIDE ACCOUSTIC SHIELDING

- DUST CONTROL
- WHERE POSSIBLE, STAGE ANY VEGETATION REMOVAL TO MINIMISE EXPOSED AREAS
  - AREAS EXPOSED (IN THE SHORT TERM) TO BE STABILISED USING WATERING AND/OR GEO-FABRICS AS APPROPRIATE TO MINIMISE DUST GENERATION
  - MODIFY / REDUCE CONSTRUCTION ACTIVITIES DURING HIGH WIND CONDITIONS IF INCREASED DUST GENERATION IS A POSSIBILITY
  - DUST CONTROL MEASURES TO BE IMPLEMENTED AS THE SITE SUPERVISOR DEEMS APPROPRIATE, INCLUDING WATER CARTS, SPRINKLERS, SPRAYS, DUST SCREENS, ETC
  - CHECK EROSION CONTROL MEASURE REGULARLY TO ENSURE CAPTURED SILT DOES NOT BECOME AIRBORNE

- ODOUR CONTROL
- SEGRATE AND COLLECT WASTE REGULARLY TO ENSURE ODOURS ARE MINIMISED
  - NO BURNING-OFF OF WASTE AT ANY TIME
  - REMOVE WASTE BINS FROM SITE REGULARLY

PROPOSED AREA OF WORK  
ALL WATER PUMPED OR OTHERWISE REMOVED FROM EXCAVATIONS OR BASEMENT AREAS ARE TO BE FILTERED TO ACHIEVE SUSPENDED SOLID/NON FILTERABLE RESIDUE LEVELS COMPLYING WITH THE AUSTRALIAN WATER QUALITY GUIDELINES FOR FRESH AND MARINE WATERS.

PROVIDE STABILISED SITE ACCESS. EXACT LOCATION TO BE DETERMINED ON SITE BY THE SUPERINTENDENT.

SITE ENTRY

REV.	DATE	BY	DESCRIPTION	REV.	DATE	BY	DESCRIPTION
4	13.12.19	JPS	ISSUED FOR REVISED DA				
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DESIGN:  
CHECKED: AMcK  
SCALE: 1 : 100  
SIZE: A1



PROPOSED DEVELOPMENT

24-28 Viccliffe Avenue, Campsie, NSW

Owner

ENVIRONMENTAL SITE MANAGEMENT LAYOUT

CIVIL DESIGN

